
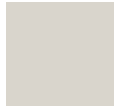





COLOUR SELECTION

LOCATION	COLOUR	SAMPLE
A	WALL RENDER – A TO MATCH DULUX NATURAL WHITE OR WATTYL IGLOO	
B	WALL RENDER – B gutters and downpipes to match TO MATCH WATTYL WICKER WHITE OR WATTLE HOG BRISTLE 1/2 STRENGTH	
C	METAL SHEET ROOF COLORBOND BASALT- OR SIMILARE	
D	GARAGE DOORS TO MATCH COLORBOND SURFMIST- OR SIMILAR	
E	ALUM. FRAMED WINDOWS /DOORS TO MATCH DULUX POWDER COATING COLOUR WHITE SATIN OR SIMILAR	
F	FEATURE WALL CULTURED STONE OR SIMILAR	



LOT 8129 - CORNER PENNYROYAL BLV AND
SPEARGRASS ST, DENHAM COURT NSW 2565

LOT 8129 DP 1201937

CONSTRUCTION OF TWO STOREY DWELLING

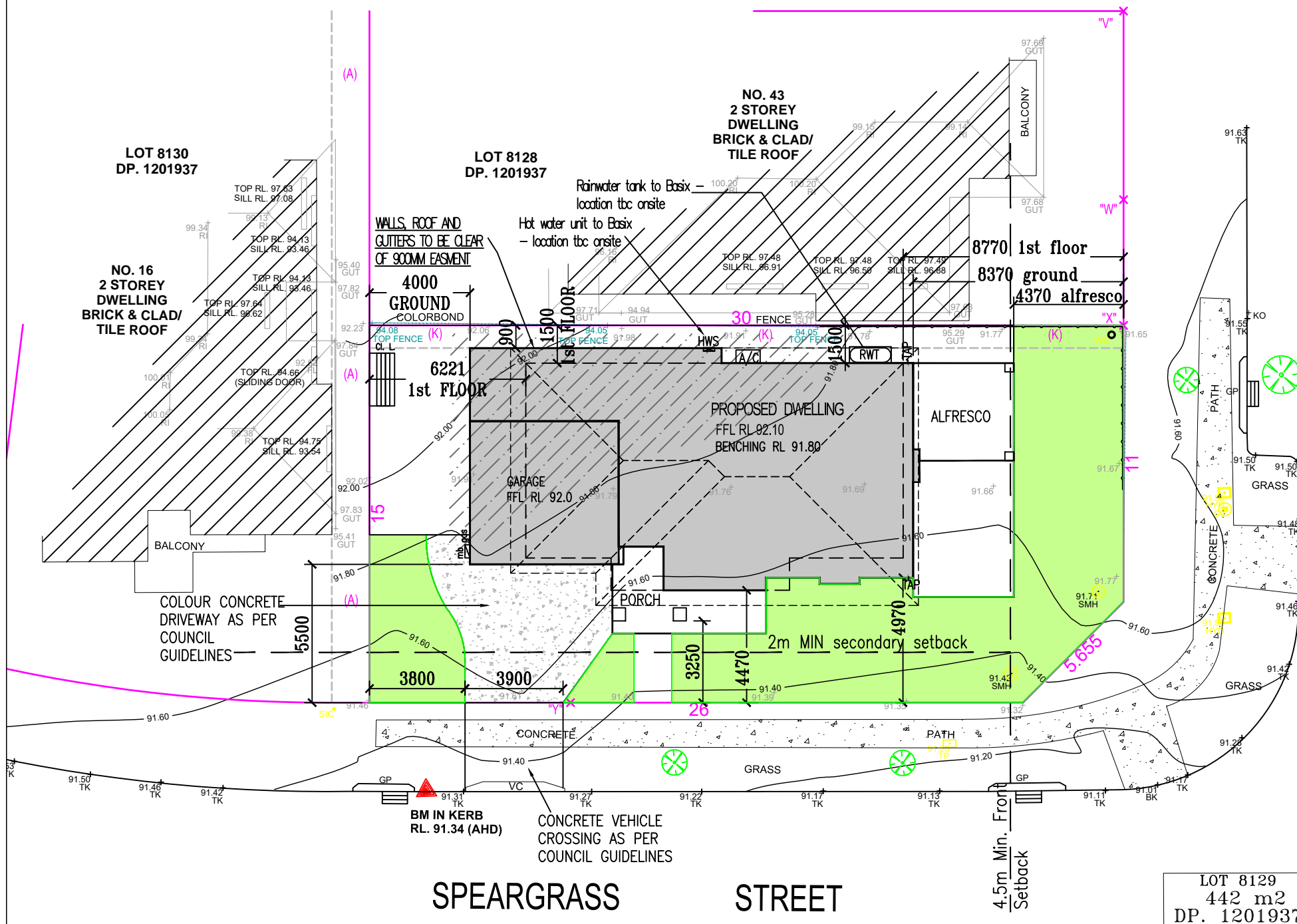
Sheet List Table

Number	Sheet Title
A101	COVER SHEET AND NOTES
A102	SITE PLAN AND COMPLIANCE TABLE
A103	PROPOSED GROUND FLOOR PLAN
A104	PROPOSED FIRST FLOOR PLAN
A105	ELEVATIONS (1)
A106	ELEVATIONS (2)
A107	SECTIONS
A110	SCHEDULES
A111	NOTIFICATION PLAN
A201	SITE ANALYSIS PLAN
A202	DRAINAGE CONCEPT PLAN
A203	SHADOW DIAGRAMS
A204	ROOF PLAN
A205	CONSTRUCTION MANAGMENT PLAN
A206	LANDSCAPING CONCEPT PLAN
A207	CONCRETE LAYOUT

SPECIFICATIONS OF BUILDING WORKS (SUMMARY):

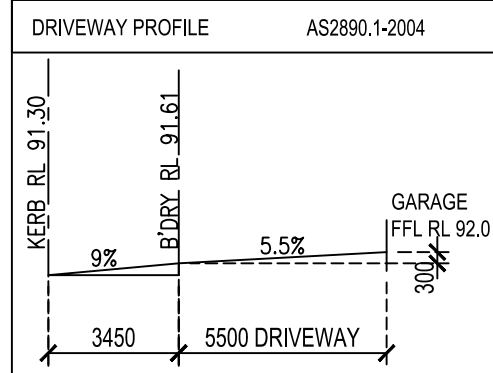
REFER DETAILED SPECIFICATIONS ATTACHED TO CC PLANS

- EARTHWORKS AND EXCAVATIONS: AS3798. OR AS/NZS3500.
- FOOTINGS AND PIERS: AS PER BCA VOL.2 PART 3.2.5.
- CONCRETE / STRUCTURAL CONCRETE : NCC VOL. 1 PART B1.4 OR VOL. 2 PART 3.2.3 AND AS3600,
- TERMITE MANAGEMENT SYSTEM: NCC VOL. 2 PART 3.1.3 OR VOL.1 PART B 1.4
- INTEGRAL FLOOR SLABS AND SLAB ON GROUND: NCC VOL.1 PART B 1.4, OR VOL. 2 PART 3.2.5.
- BRICK AND BLOCKWORK: AS3700 OR AS4773)
- VENTILATION: NCC VOL.1 PARTS F1 TO 12 OR VOL. 2 PART 3.4.1
- BUSHFIRE PRONE AREAS NCC VOL. 1 PARTS G 5.0, 5.1, 5. OR NCC VOL. 2 PART 3.7.4.
- ENERGY EFFICIENCY : NCC VOL. 1 PART J NCC VOL. 2 PART 3.12
- EXTERNAL GLAZING: NCC VOL. 2 PART 3.12.2 OR VOL. 1 PARTS J 1.5 AND SPEC. J1.5
- ROOM VENTILATION: PART 3.8.5.2
- FRAMING: NCC VOL. 2 PART 3.4.3
- STEEL CONSTRUCTION, NCC VOL. 2 PART 3.4.2, VOL. 1 PART B1
- STRUCTURAL STEEL – NCC VOL. 2 PART 3.4.4., VOL. 1 PART B1
- ROOFING – NCC VOL. 2 PART 3.5.1, OR VOL. 1 PART F1.5
- CONCRETE TILES: AS2049, AS4046 AND AS2050
- FIXING ROOF TILES: NCC VOL. 2, FIG. 3.5.1.1
- LIGHTING; NCC VOL. 2 PART 3.8.4.2
- EXTERNAL WALL CLADDING NCC VOL. 2 PART 3.5.3
- PROTECTION OF OPEN-ABLE WINDOWS: (AGAINST FALLING FROM) NCC VOL. 2 PART 3.9.2.5, OR NCC VOL.1 PART 2.2C:
- STAIRS, HANDRAILS AND BALUSTRADES: NCC VOL. 2 PARTS 3.9.1 AND 3.9.2
- SLIP RESISTANCE: AS4586 AND HB198.
- WET AREAS: NCC VOL.1 PART F1 AND VOL. 2 PART 3.8.1
- HOT WATER SERVICE: AS3500.4
- GAS INSTALLATIONS: 'GAS SAFETY REGULATIONS AND ACT' AND AS5601.
- HEATING APPLIANCES NCC VOL 2 PART 3.7.3
- WALL AND FLOOR TILES: AS3958 PARTS 1 AND 2.
- GLAZING: NCC VOL. 1 PARTS B 1.4, D 3.12, F 1.13 OR NCC VOL. 2 PART 3.6



LEGEND

- PROPOSED EXCAVATION
- PROPOSED DWELLING
- PROPOSED DRIVEWAY
- PROPOSED LANDSCAPING



PENNYROYAL BOULEVARD

AREA SCHEDULE

* CAMPBELLTOWN COUNCIL - Campbelltown City Council Growth Centre Precincts Development Control Plan AND Campbelltown (Sustainable) City Development Control Plan 2015

key controls for lots with frontage width ≥ 9m and ≤ 15m for front accessed

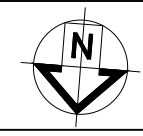
	Site Area: Residential zone	442		
	Provided	Control required	Compliance	
Ground Floor area -excluding garage	119.5			
Garage	33.6			
Maximum ground site coverage	153.1	34.6%	Max, 60% of lot area	YES
Maximum 1st floor site coverage	125.4	28.4%	Max, 35% of lot area	YES
Total floor area	278.5			
Porch	8.3			
Covered Alfresco	16.7			
Landscaping	137	31.0%	25% Min.	YES

LOT 8129
442 m2
DP. 1201937)

(A) EASEMENT TO DRAIN WATER 1.5 WIDE
(K) EASEMENT FOR MAINTENANCE & ACCESS 0.9 WIDE

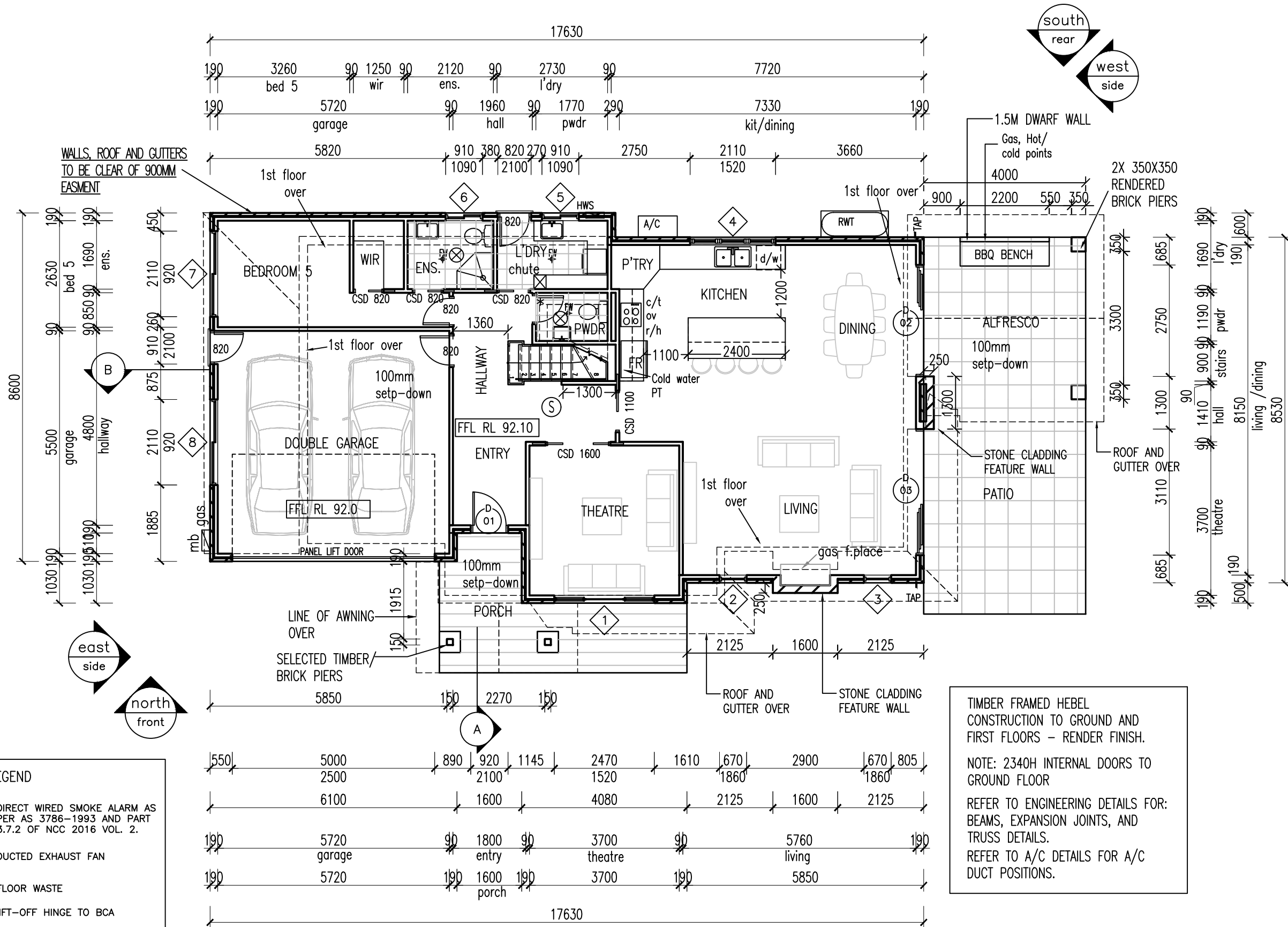
1 SITE PLAN AND COMPLIANCE TABLE
1:200

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LOT 8129 DP 1201937
Project: CONSTRUCTION OF TWO STOREY DWELLING

Drawing Title: SITE PLAN AND COMPLIANCE TABLE			
Date	Scale	Drw no	Revision
28/05/2018	AS NOTED @ A3	A102	



- LEGEND**
- ⊙ DIRECT WIRED SMOKE ALARM AS PER AS 3786-1993 AND PART 3.7.2 OF NCC 2016 VOL. 2.
 - ⊗ DUCTED EXHAUST FAN
 - FW FLOOR WASTE
 - * LIFT-OFF HINGE TO BCA

TIMBER FRAMED HEBEL CONSTRUCTION TO GROUND AND FIRST FLOORS - RENDER FINISH.

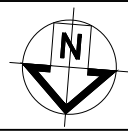
NOTE: 2340H INTERNAL DOORS TO GROUND FLOOR

REFER TO ENGINEERING DETAILS FOR: BEAMS, EXPANSION JOINTS, AND TRUSS DETAILS.

REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.

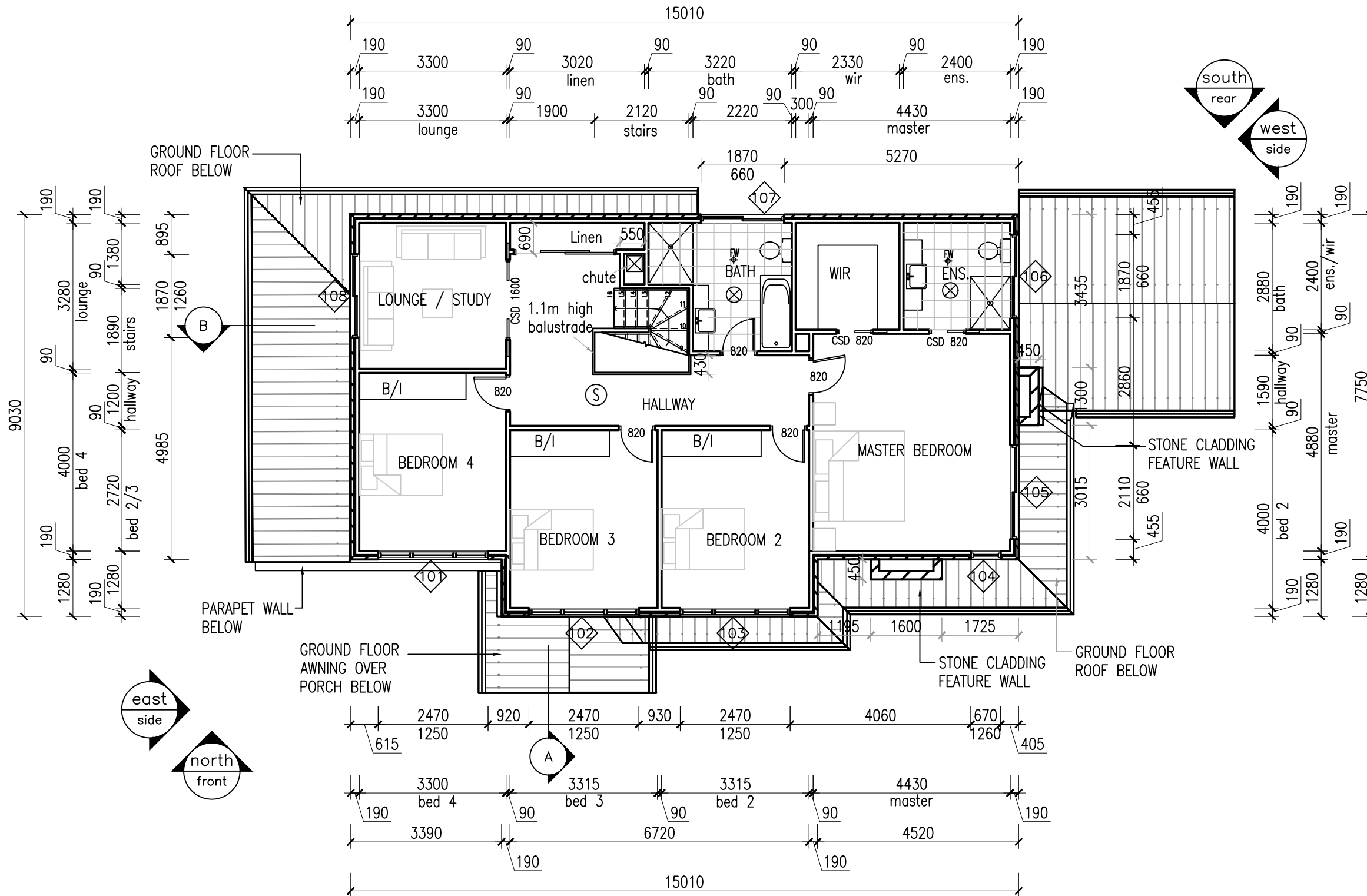
1 GROUND FLOOR PLAN
1:100

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Address: LOT 8129 - CORNER PENNYROYAL BLV AND SPEARGRASS ST, DENHAM COURT NSW 2565
LOT 8129 DP 1201937
Project: CONSTRUCTION OF TWO STOREY DWELLING

Drawing Title: PROPOSED GROUND FLOOR PLAN			
Date	Scale	Drw no	Revision
28/05/2018	AS NOTED @ A3	A103	



LEGEND

- ⊙ DIRECT WIRED SMOKE ALARM AS PER AS 3786-1993 AND PART 3.7.2 OF NCC 2016 VOL. 2.
- ⊗ EXHAUST FAN
- Ⓜ FLOOR WASTE
- * LIFT-OFF HINGE TO BCA

TIMBER FRAMED HEBEL CONSTRUCTION TO GROUND AND FIRST FLOORS – RENDER FINISH

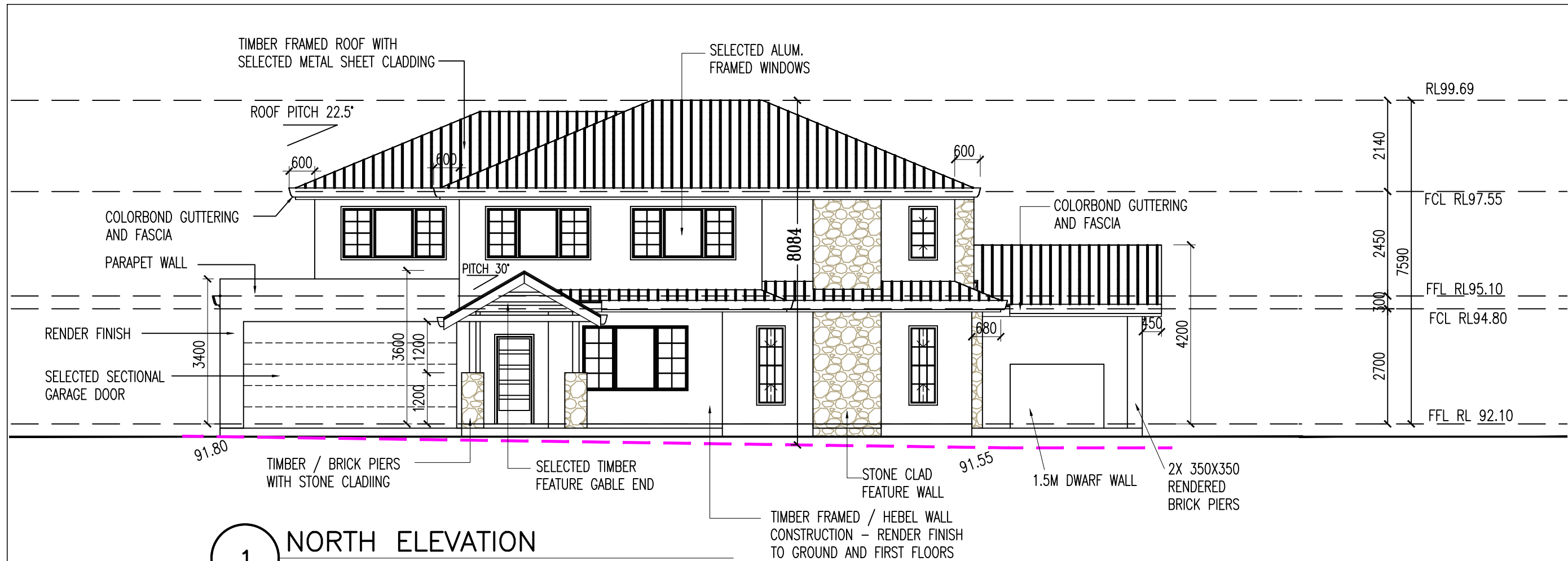
REFER TO ENGINEERING DETAILS FOR: BEAMS, EXPANSION JOINTS, AND TRUSS DETAILS.
REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.

NOTES:

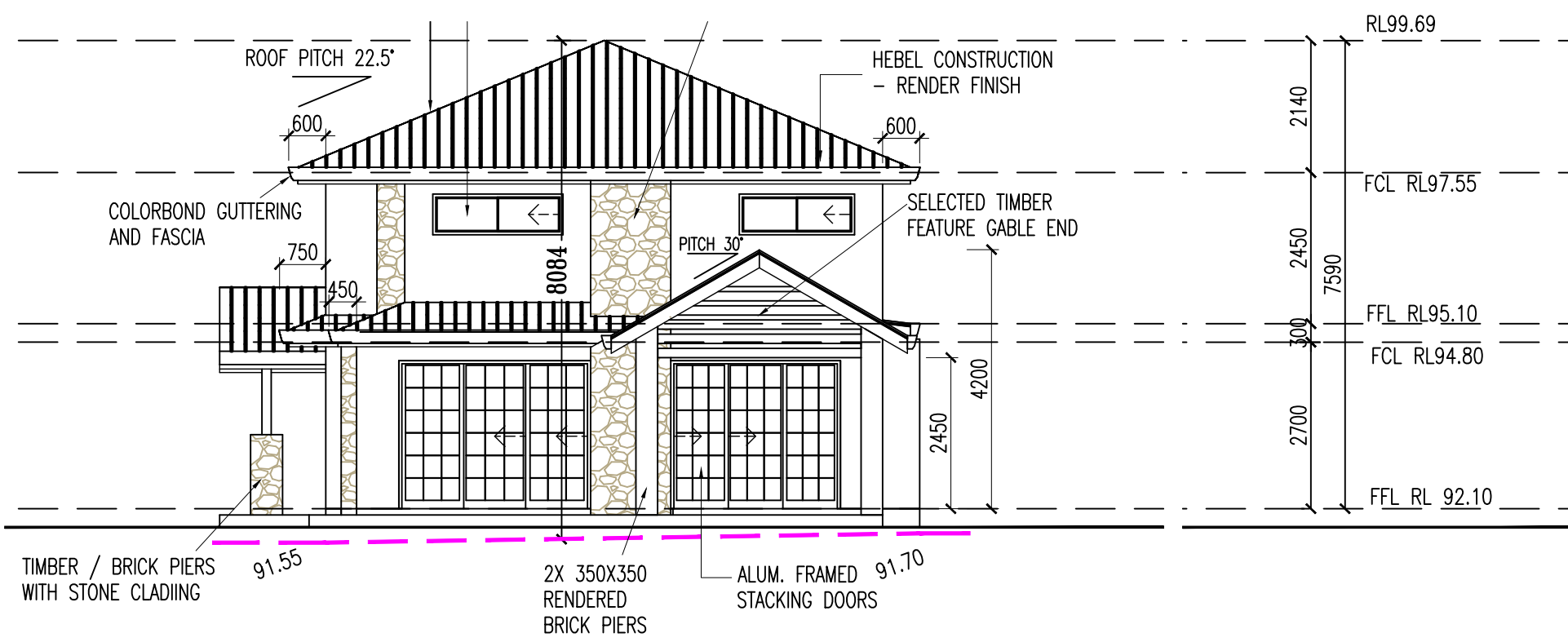
- 1 – OPENABLE WINDOWS TO BE IN ACCORDANCE WITH CLAUSE 3.9.2.5 OF THE BCA 2013 VOL.
- 2 – FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.

1 FIRST FLOOR PLAN
1:100



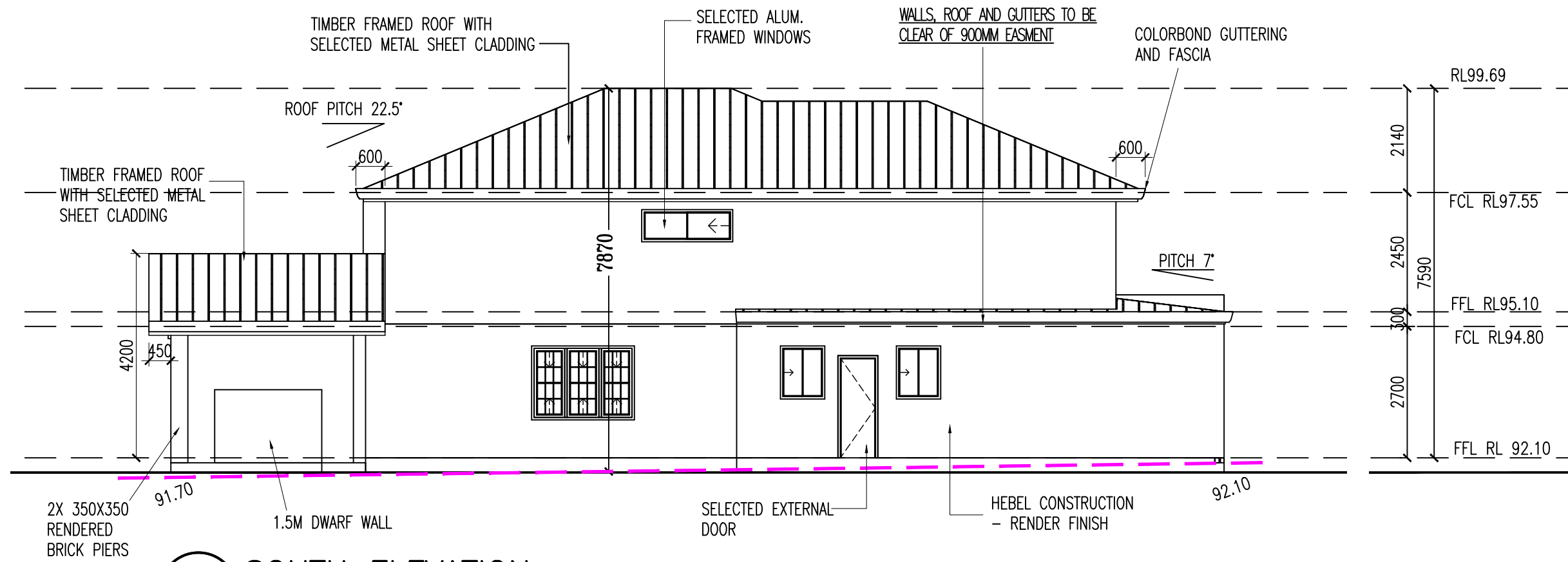


1 NORTH ELEVATION
1:100

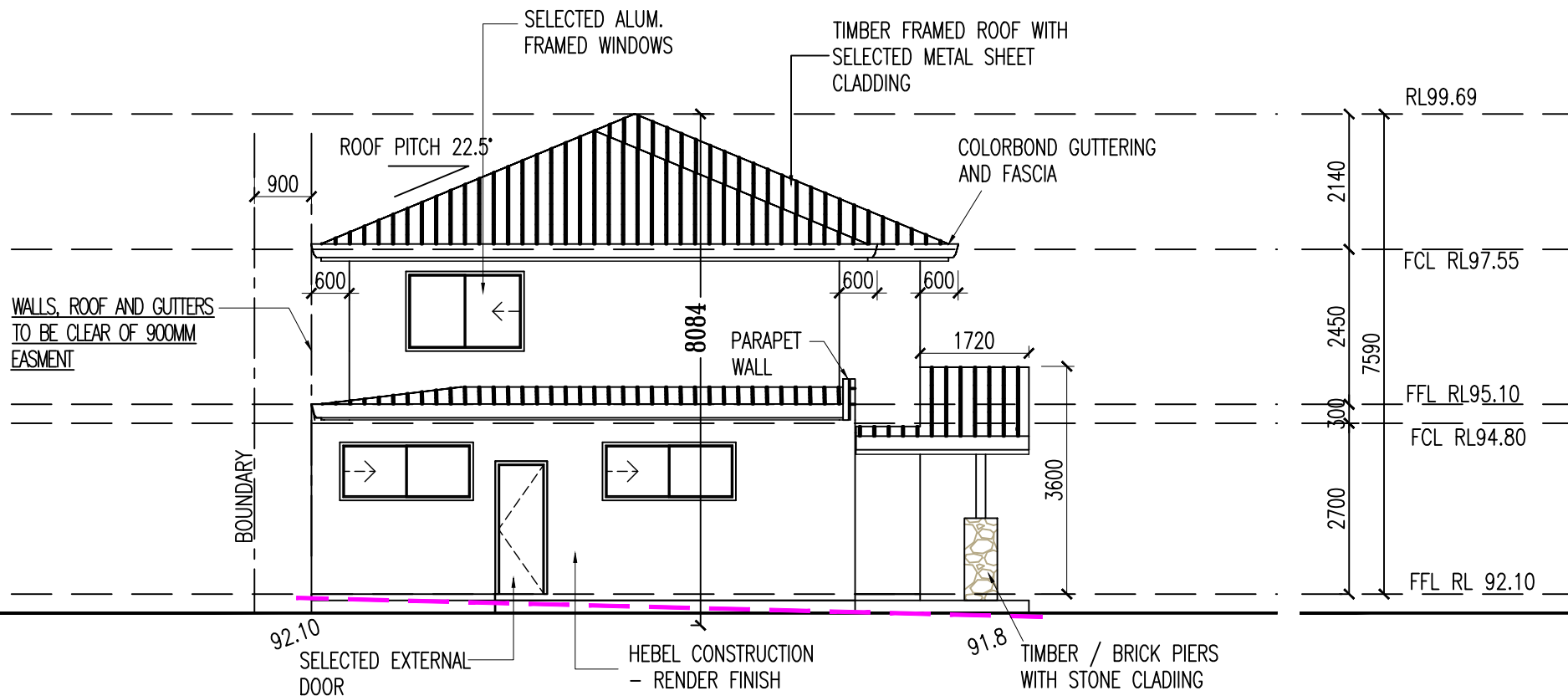


4 WEST ELEVATION
1:100

NOTES:
 OPENABLE WINDOWS TO BE IN ACCORDANCE WITH CLAUSE 3.9.2.5 OF THE BCA 2013 VOL. – FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.

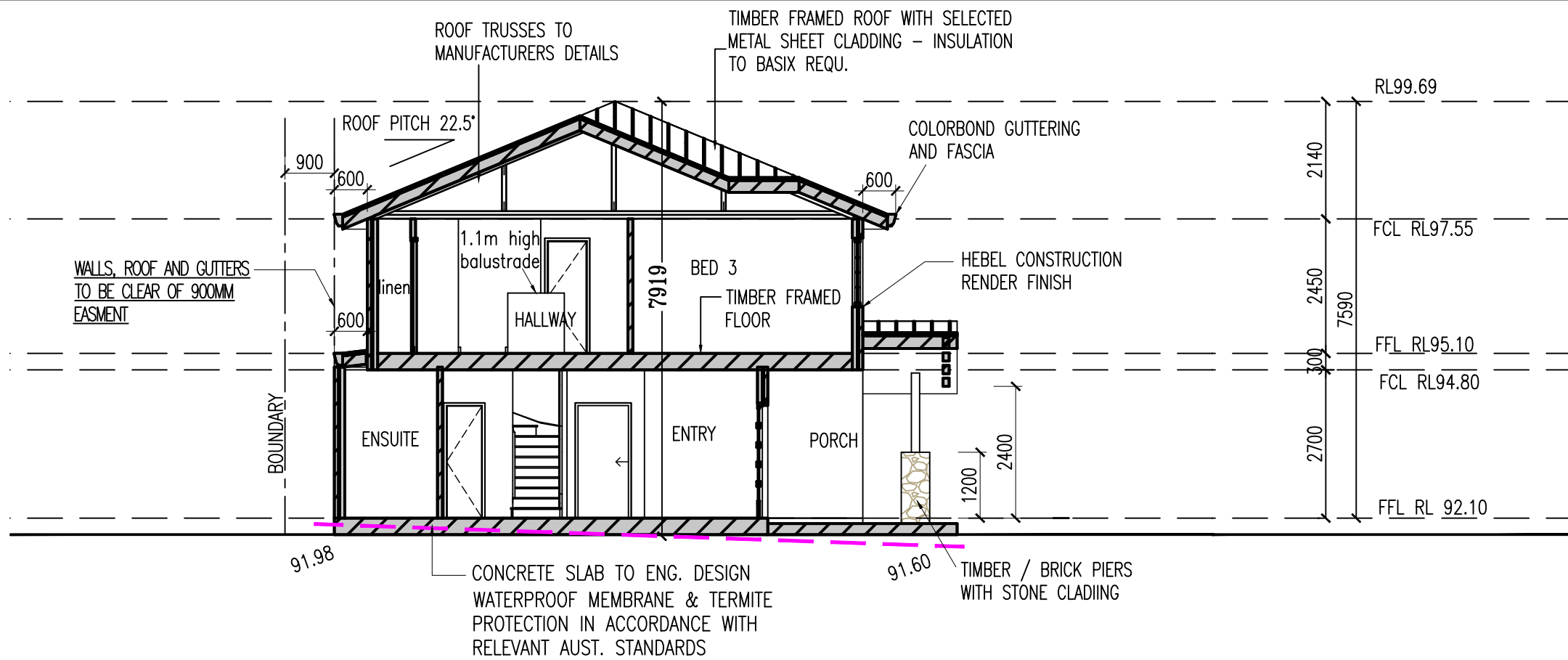


2 SOUTH ELEVATION
1:100

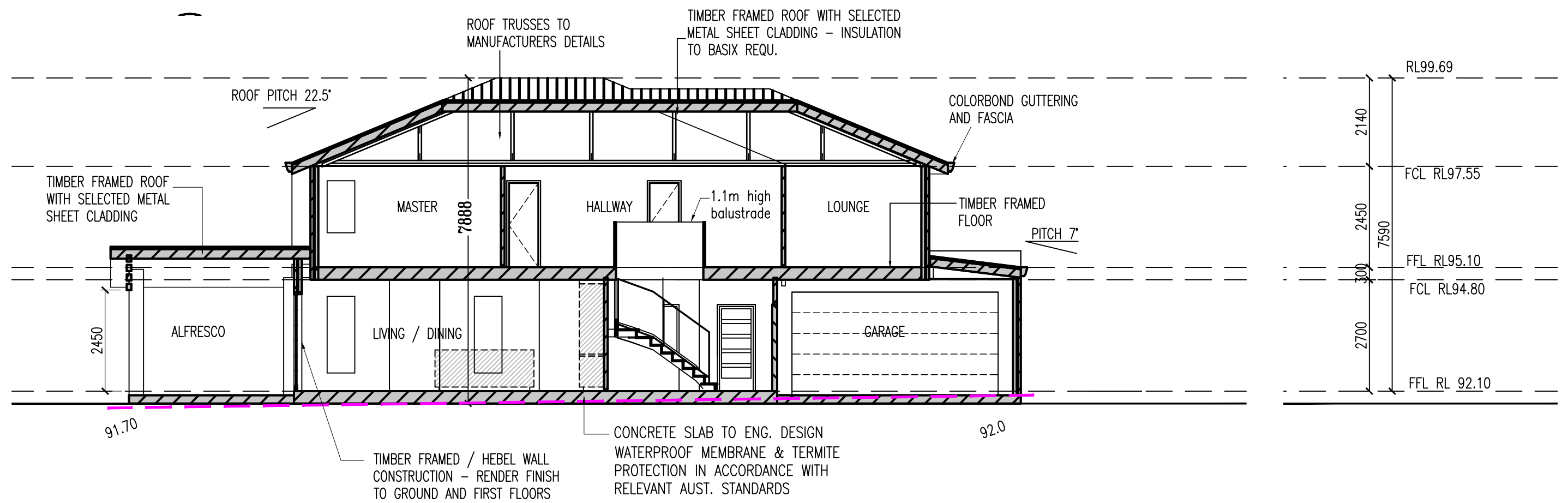


3 EAST ELEVATION
1:100

NOTES:
OPENABLE WINDOWS TO BE IN ACCORDANCE WITH CLAUSE 3.9.2.5 OF THE BCA 2013 VOL. - FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.



NOTES:
 OPENABLE WINDOWS TO BE IN ACCORDANCE WITH CLAUSE 3.9.2.5 OF THE BCA 2013 VOL. – FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.



2 SECTION B
 1:100

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 Project: CONSTRUCTION OF TWO STOREY DWELLING

Drawing Title: SECTIONS			
Date	Scale	Drw no	Revision
28/05/2018	AS NOTED @ A3	A107	

GROUND FLOOR

WINDOW SCHEDULE

No.	SIZE		Head	Sill	MATL	Style	AREA
	WD	HGT					
1	2470	1520	2300	780	ALUM. FRAMED	SLIDING 3 panel -bars	3.705
2	670	1860	2300	440	ALUM. FRAMED	Double Hung- bars	1.24
3	670	1860	2300	440	ALUM. FRAMED	Double Hung- bars	1.24
4	2110	1520	2300	780	ALUM. FRAMED	Double hung 3 panel -bars	3.165
5	910	1090	2300	1210	ALUM. FRAMED	SLIDING	1.001
6	910	1090	2300	1210	ALUM. FRAMED	SLIDING	1.001
7	2110	920	2400	1480	ALUM. FRAMED	SLIDING	1.899
8	2110	920	2400	1480	ALUM. FRAMED	SLIDING	1.899

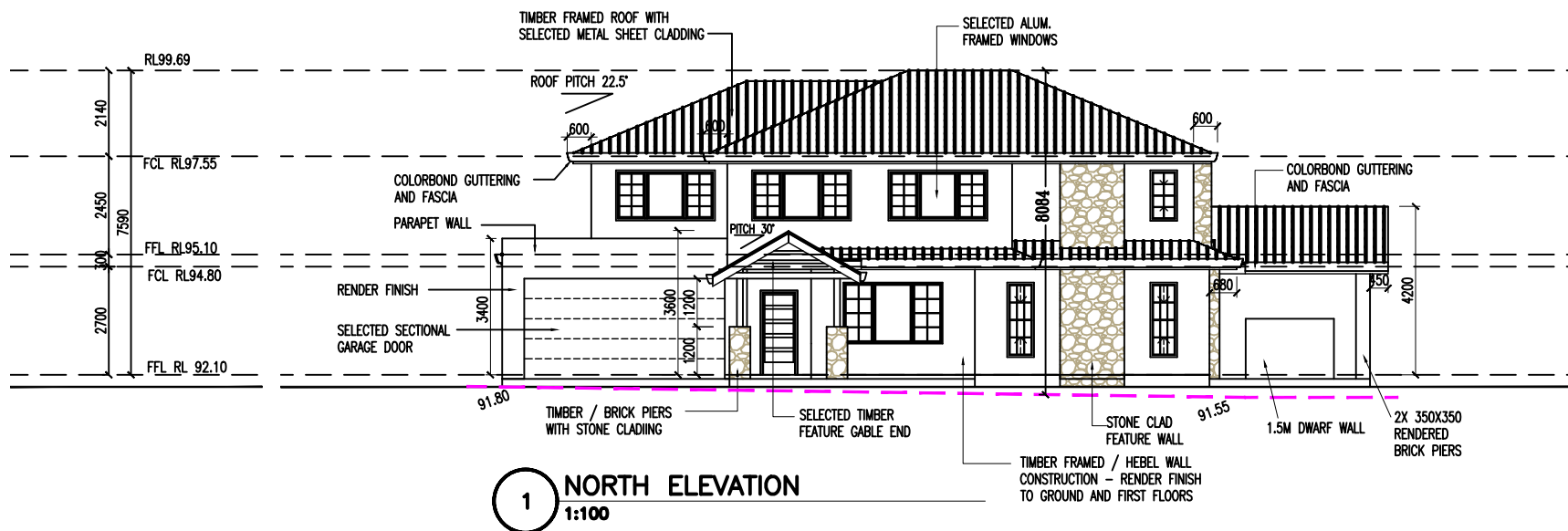
DOOR SCHEDULE

No.	SIZE		MATL	Style	Area
	WD	HGT			
1	920	2100	TIMBER - 50% GLAZING	Hinged - ENTRY (2)	1.932
2	2750	2400	ALUM. FRAMED	STACKING - Triple	6.6
3	3110	2400	ALUM. FRAMED	STACKING - Triple	7.464

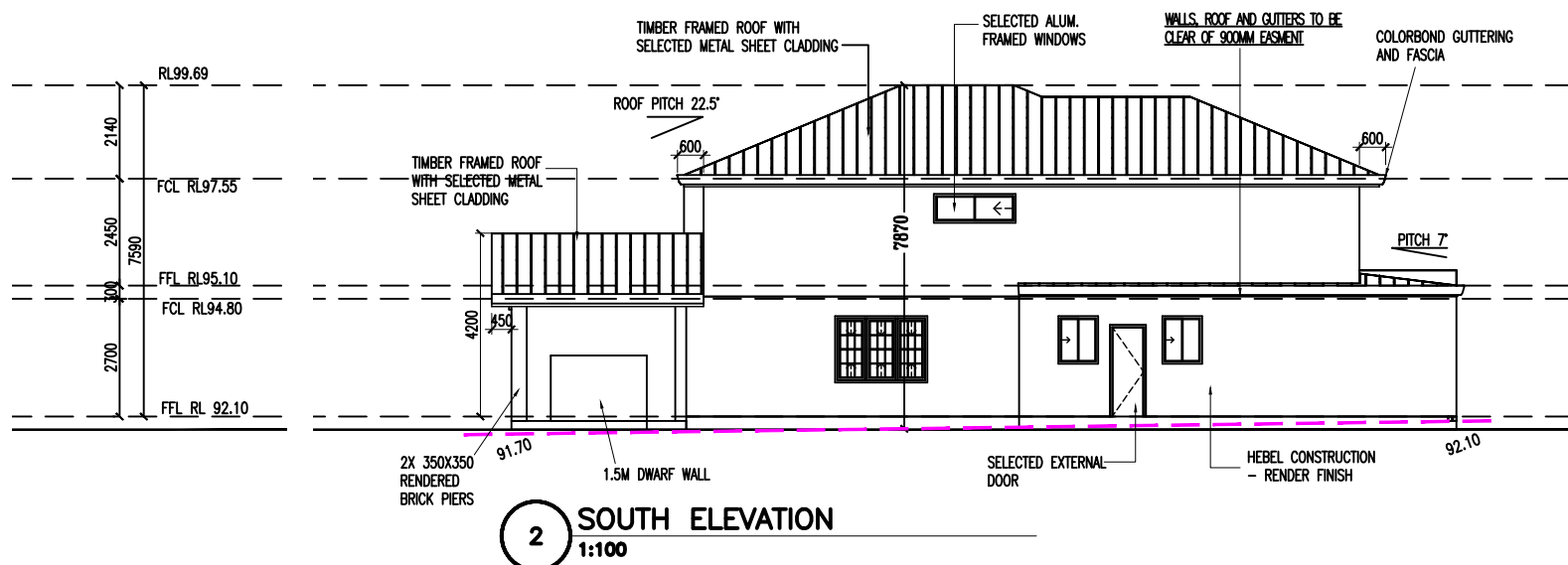
FIRST FLOOR

WINDOW SCHEDULE

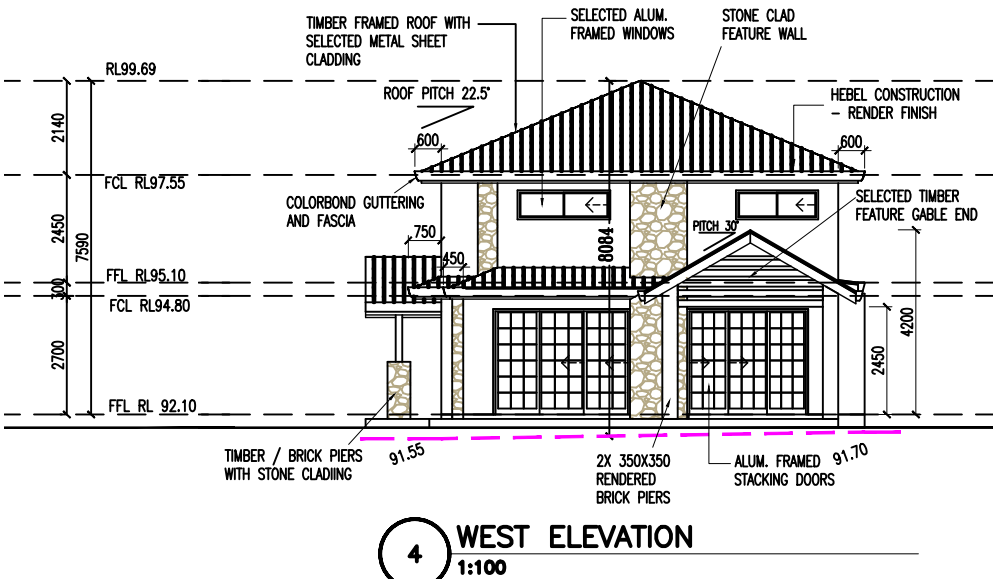
No.	SIZE		Head	Sill	MATL	Style	AREA
	WD	HGT					
101	2470	1250	2100	850	ALUM. FRAMED	SLIDING 3 panel -bars	3.088
102	2470	1250	2100	850	ALUM. FRAMED	SLIDING 3 panel -bars	3.088
103	2470	1250	2100	850	ALUM. FRAMED	SLIDING 3 panel -bars	3.088
104	670	1250	2100	840	ALUM. FRAMED	Double Hung (2)	.838
105	2110	650	2100	1440	ALUM. FRAMED	SLIDING	1.372
106	1870	650	2100	1440	ALUM. FRAMED	SLIDING	1.216
107	1870	650	2100	1440	ALUM. FRAMED	SLIDING	1.216
108	1870	1250	2100	840	ALUM. FRAMED	SLIDING	2.338



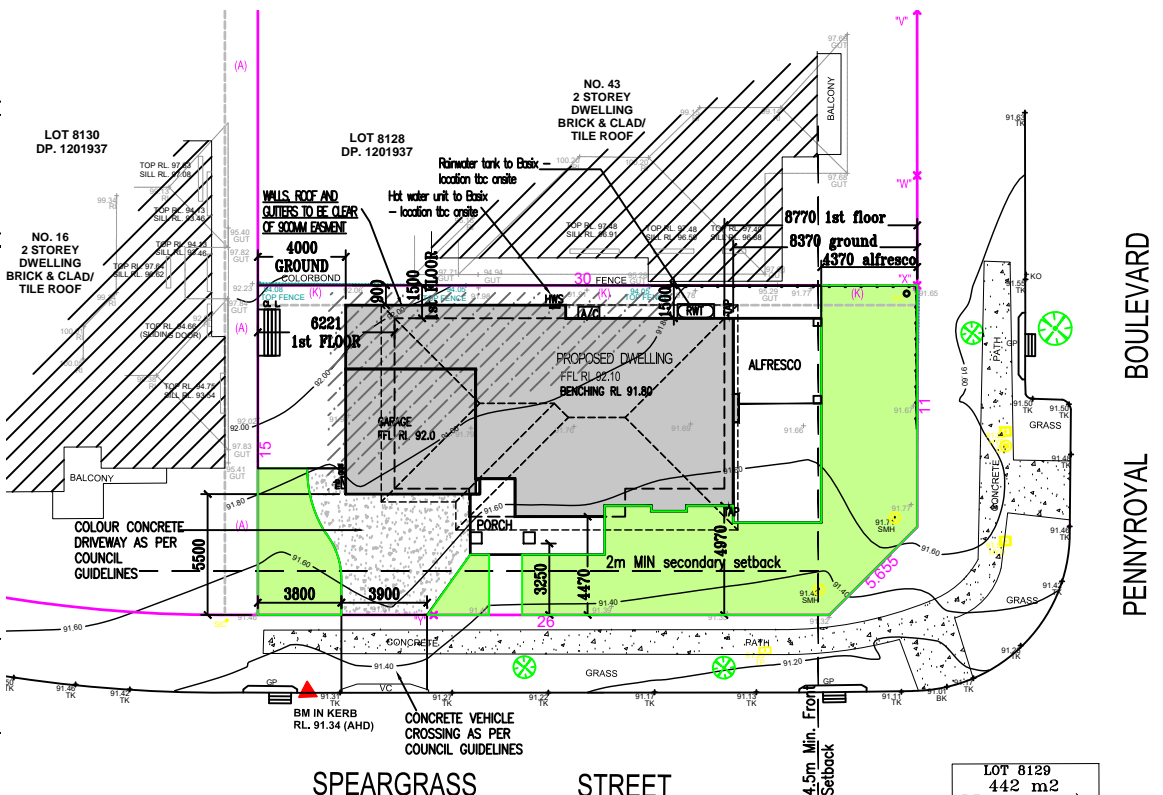
1 NORTH ELEVATION
1:100



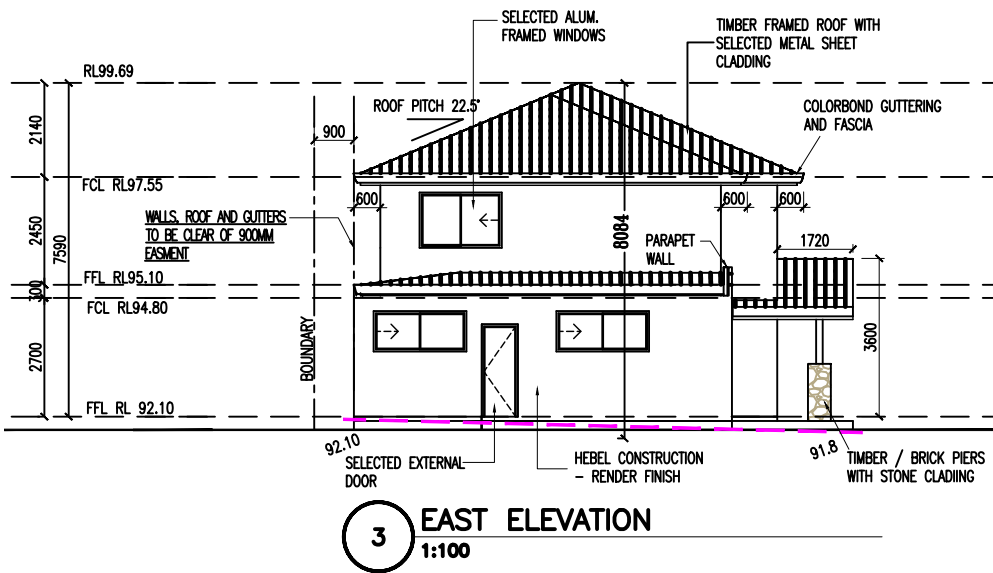
2 SOUTH ELEVATION
1:100



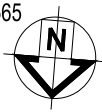
4 WEST ELEVATION
1:100

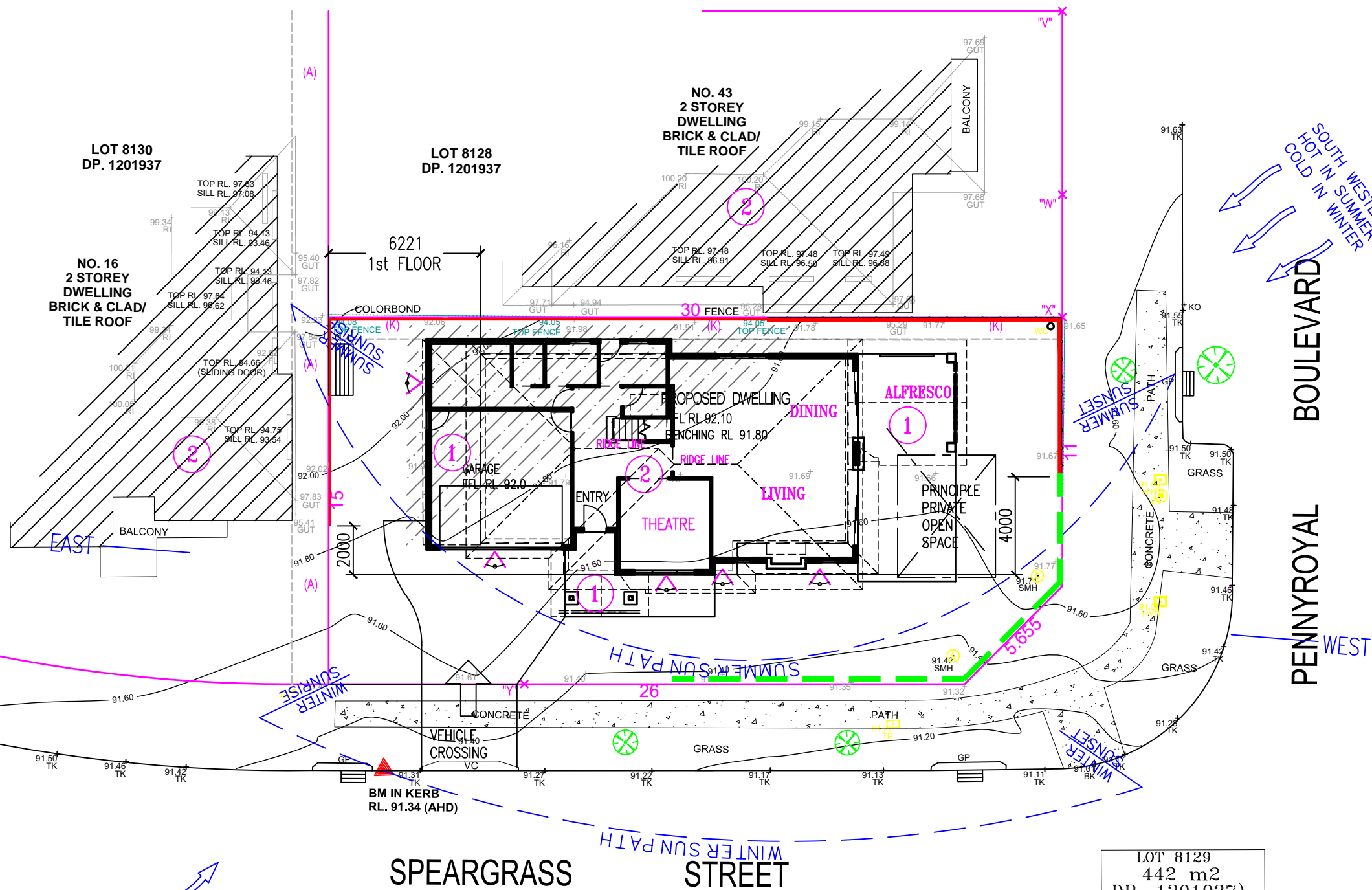


1 SITE PLAN AND COMPLIANCE TABLE
1:200



3 EAST ELEVATION
1:100





LEGEND

- SILL LEVEL LESS THAN 1.6M AT 1ST FLOOR HABITABLE SPACES
- EXTENT OF 1ST FLOOR
- NUMBER OF BUILDING LEVELS
- EXTENT OF 1.8M FENCE
- EXTENT OF 1M FENCE/HEDGES WITH SEE-THROUGH MATERIAL OR GAPS OVER 1M HEIGHT
- PROPOSED EXCAVATION

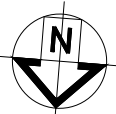
LOT 8129
442 m²
DP. 1201937)

(A) EASEMENT TO DRAIN WATER 1.5 WIDE
(K) EASEMENT FOR MAINTENANCE & ACCESS 0.9 WIDE

NORTH & NORTH EAST WINDS : PLEASANT BREEZE COOL IN SUMMER WARM IN WINTER

SOUTH WESTERLY HOT IN SUMMER COLD IN WINTER

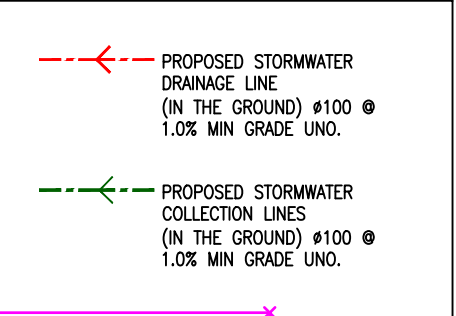
1 SITE ANALYSIS PLAN
1:200



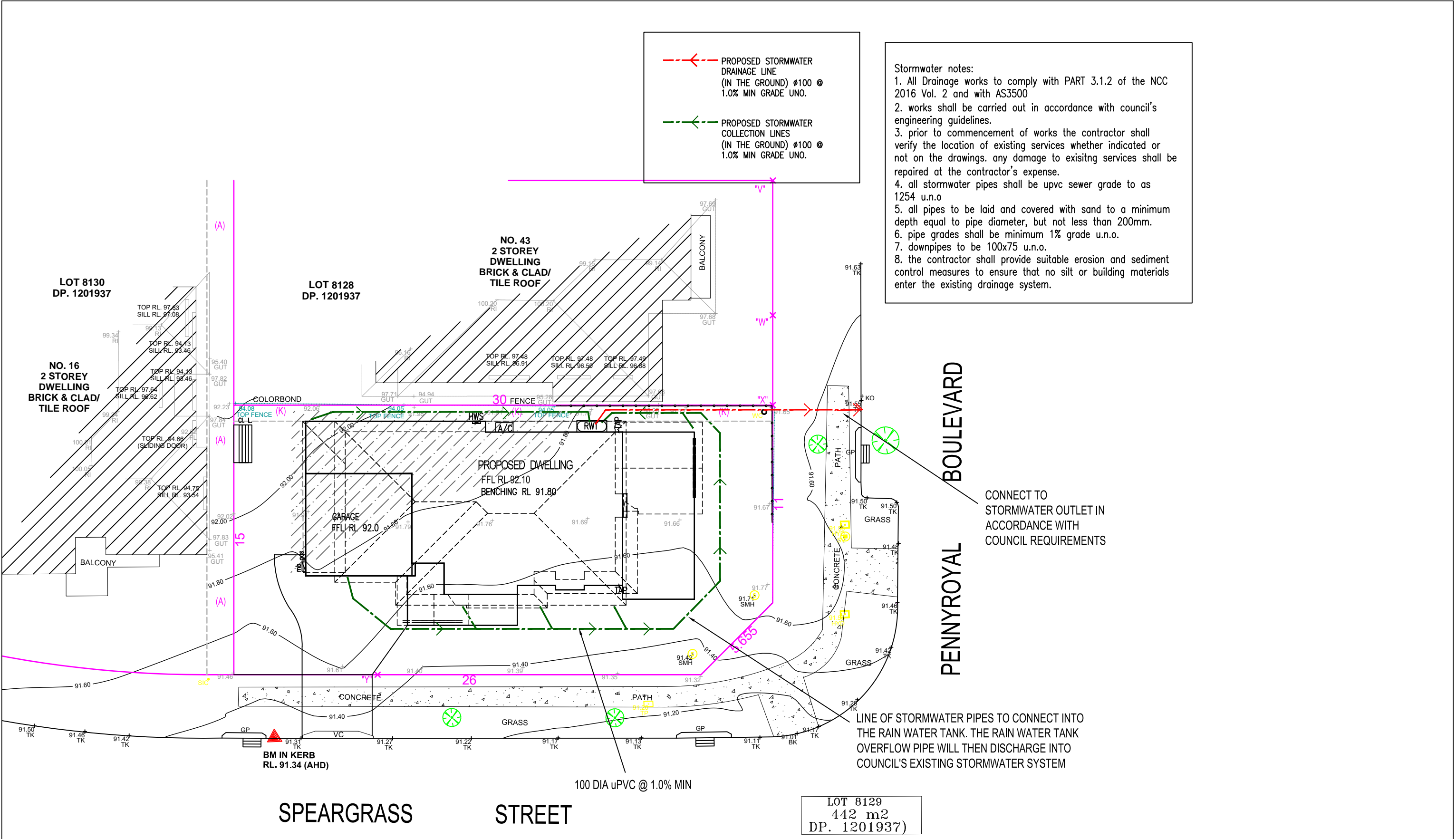
Address: LOT 8129 - CORNER PENNYROYAL BLV AND SPEARGRASS ST, DENHAM COURT NSW 2565
LOT 8129 DP 1201937
Project: CONSTRUCTION OF TWO STOREY DWELLING

Drawing Title: SITE ANALYSIS PLAN			
Date	Scale	Drw no	Revision
28/05/2018	AS NOTED @ A3	A201	

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- Stormwater notes:
1. All Drainage works to comply with PART 3.1.2 of the NCC 2016 Vol. 2 and with AS3500
 2. works shall be carried out in accordance with council's engineering guidelines.
 3. prior to commencement of works the contractor shall verify the location of existing services whether indicated or not on the drawings. any damage to existing services shall be repaired at the contractor's expense.
 4. all stormwater pipes shall be upvc sewer grade to as 1254 u.n.o
 5. all pipes to be laid and covered with sand to a minimum depth equal to pipe diameter, but not less than 200mm.
 6. pipe grades shall be minimum 1% grade u.n.o.
 7. downpipes to be 100x75 u.n.o.
 8. the contractor shall provide suitable erosion and sediment control measures to ensure that no silt or building materials enter the existing drainage system.



CONNECT TO STORMWATER OUTLET IN ACCORDANCE WITH COUNCIL REQUIREMENTS

LINE OF STORMWATER PIPES TO CONNECT INTO THE RAIN WATER TANK. THE RAIN WATER TANK OVERFLOW PIPE WILL THEN DISCHARGE INTO COUNCIL'S EXISTING STORMWATER SYSTEM

LOT 8129
442 m²
DP. 1201937)

(A) EASEMENT TO DRAIN WATER 1.5 WIDE
(K) EASEMENT FOR MAINTENANCE & ACCESS 0.9 WIDE

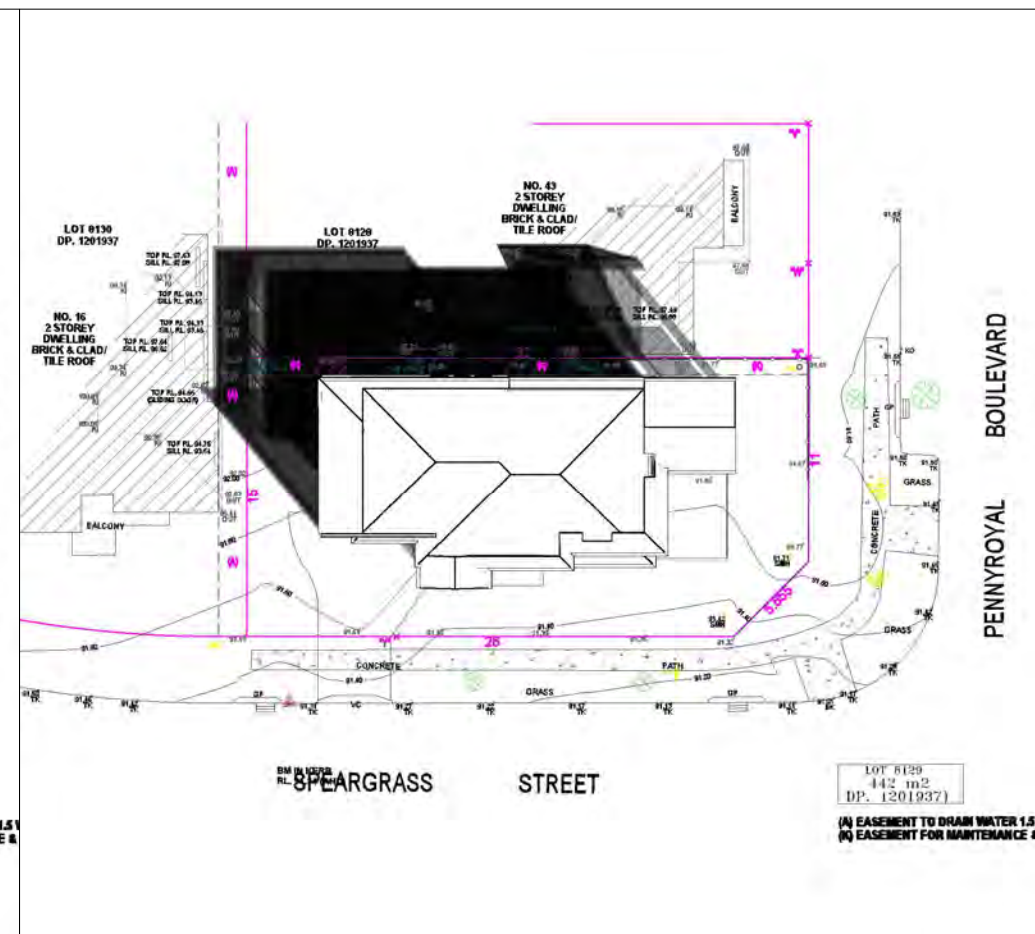
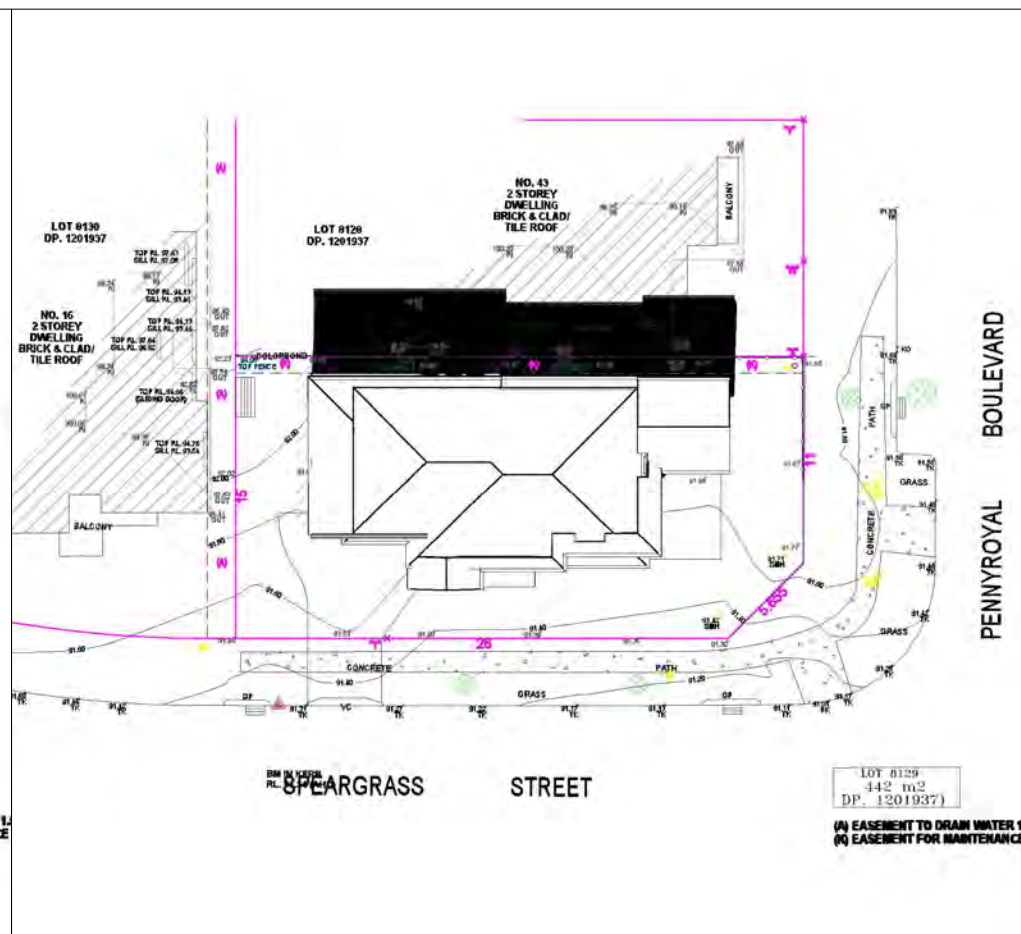
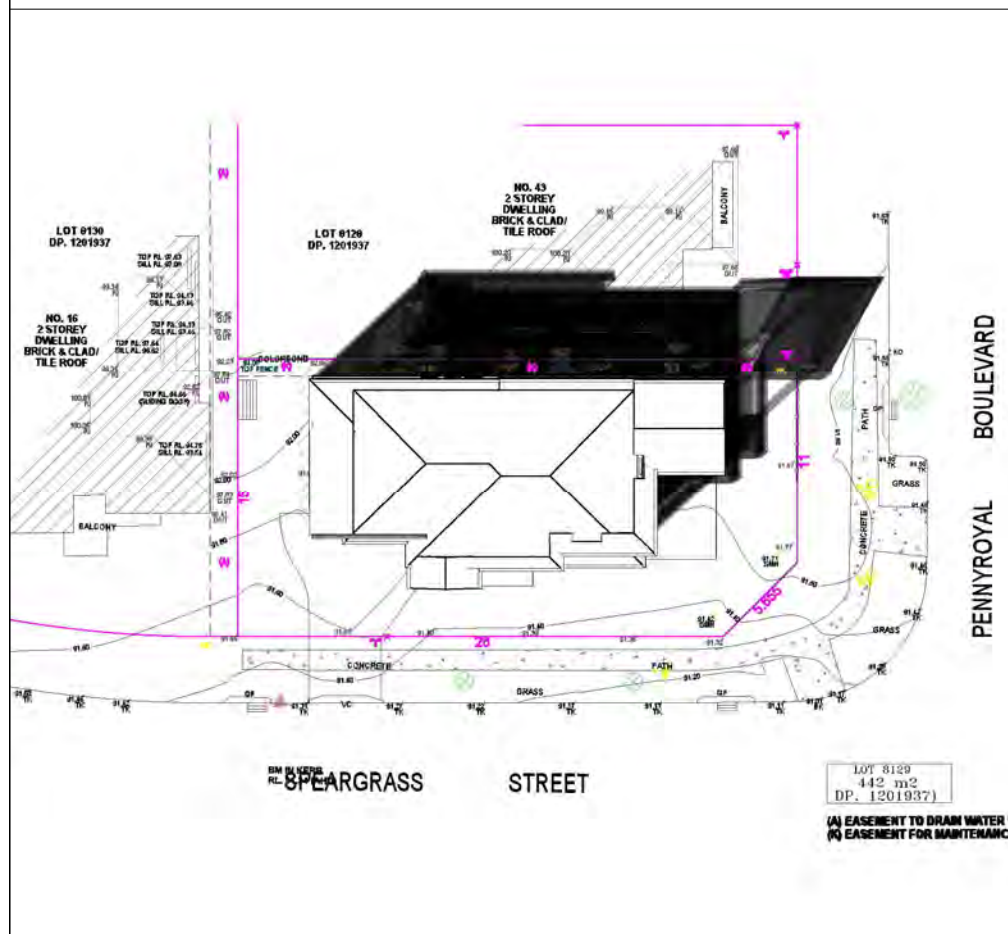
1 DRAINAGE CONCEPT PLAN
1:200

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LOT 8129 DP 1201937
Project: CONSTRUCTION OF TWO STOREY DWELLING

Drawing Title: DRAINAGE CONCEPT PLAN			
Date	Scale	Drw no	Revision
28/05/2018	AS NOTED @ A3	A202	

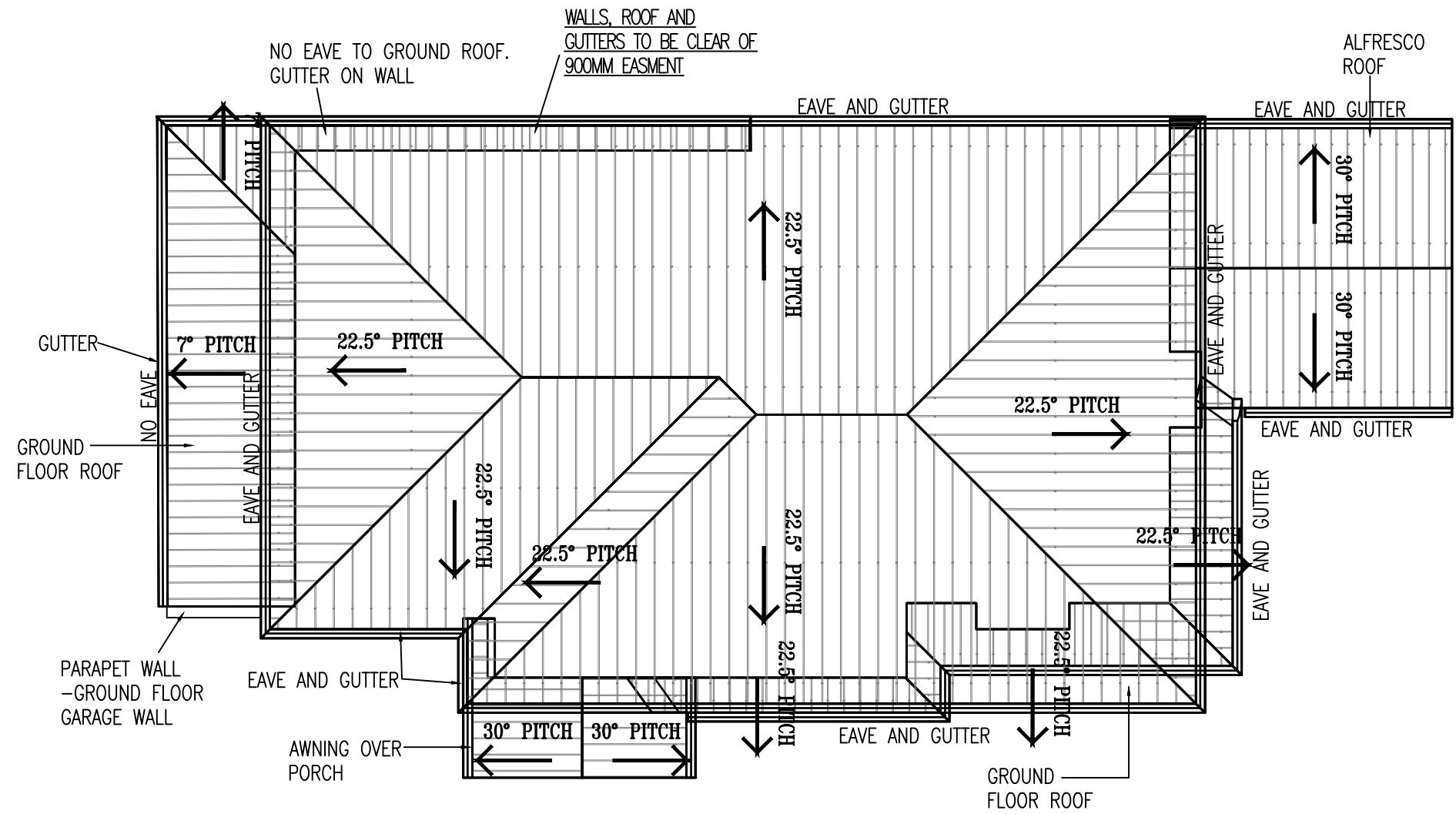


1 9AM - 21 JUNE
1:400

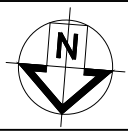
2 12PM - 21 JUNE
1:400

3 3PM - 21 JUNE
1:400

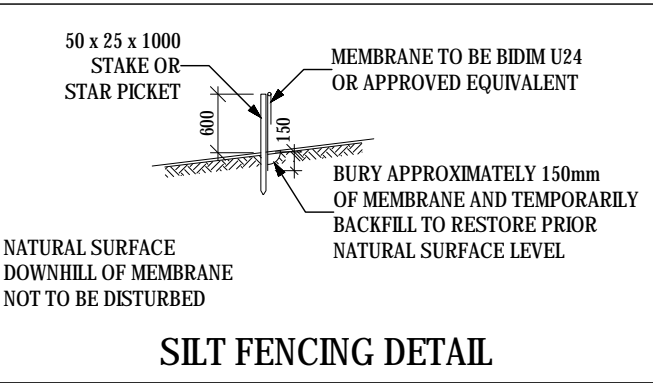
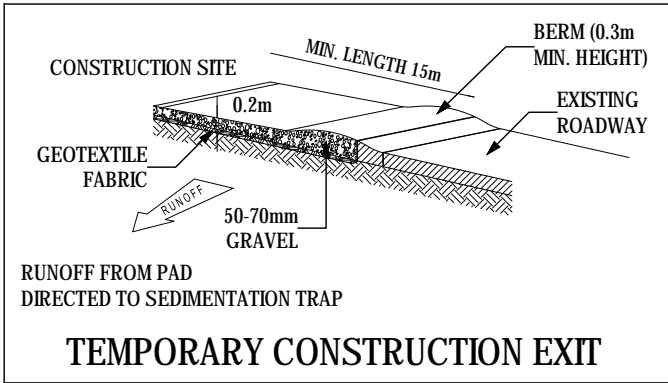
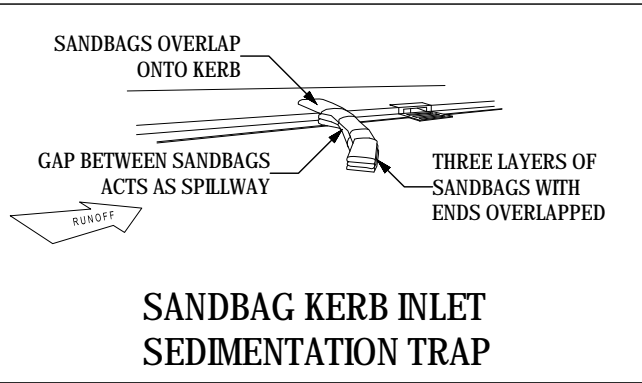




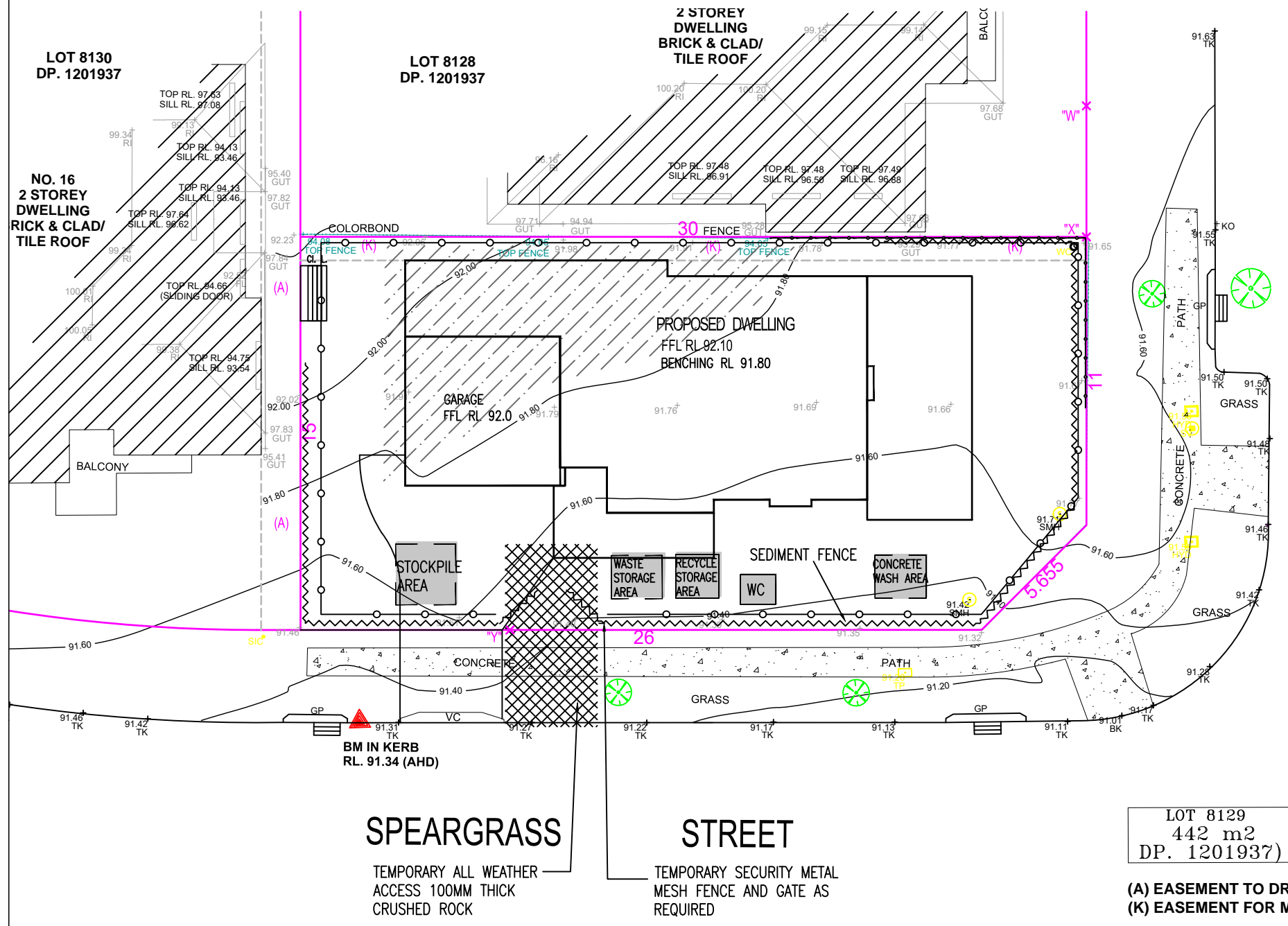
1 ROOF PLAN
1:100



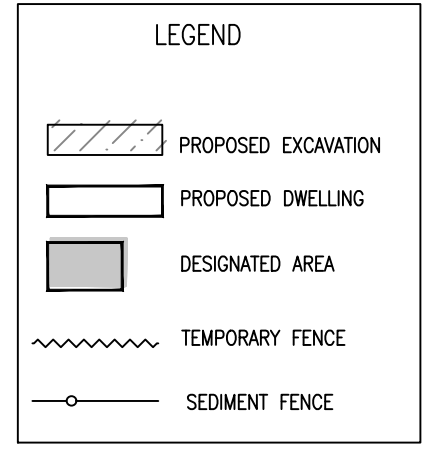
Drawing Title: ROOF PLAN			
Date	Scale	Drw no	Revision
28/05/2018	AS NOTED @ A3	A204	



- SEDIMENT FILTER FENCE NOTES**
1. Setout posts along the length of the proposed fence. Space posts a maximum of 3m apart and drive them at least 0.6m into the ground.
 2. Excavate a trench approximately 0.1m wide and 0.2m deep along the line of posts and upslope from the barrier
 3. Fasten wire mesh securely to the upslope side of posts. Use heavy-duty wire staples at least 2.5cm long and tie wire. Extend the wire mesh 0.15m into the trench wire fence reinforcement for sediment fences must be a minimum of 14 gauge & have a maximum mesh spacing of 0.15m
 4. Fasten the filter fabric to the uphill side of the fence posts, & extend it 0.2m into the trench. The height of the fence should not exceed 0.6m.
 5. Cut the filter fabric from a continuous roll to avoid the use of joints. When joints are necessary, splice the filter cloth at a support post, with a minimum 0.15m overlap, & securely fasten both ends to the post.
 6. Back fill the trench over the toe of the fabric & compact soil
 7. Inspect & repair fence after each rain event for undercutting, sagging and overtopping.



PENNYROYAL BOULEVARD



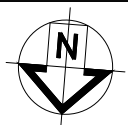
- Erosion control notes:**
1. All erosion and situation control devices are to be placed prior to commencement of any construction works.
 2. All silt traps are to have deposited silt removed regularly during construction.
 3. All trees are to be preserved unless indicated otherwise on drawings.
 4. Install temporary sediment barrier to all inlet pits likely to collect silt laden water, to council requirements.
 5. It is the contractors sole responsibility to ensure that all activities comply with requirements of the clean waters act.

LOT 8129
442 m2
DP. 1201937)

(A) EASEMENT TO DRAIN WATER 1.5 WIDE
(K) EASEMENT FOR MAINTENANCE & ACCESS 0.9 WIDE

1 CONSTRUCTION MANAGEMENT PLAN
1:200

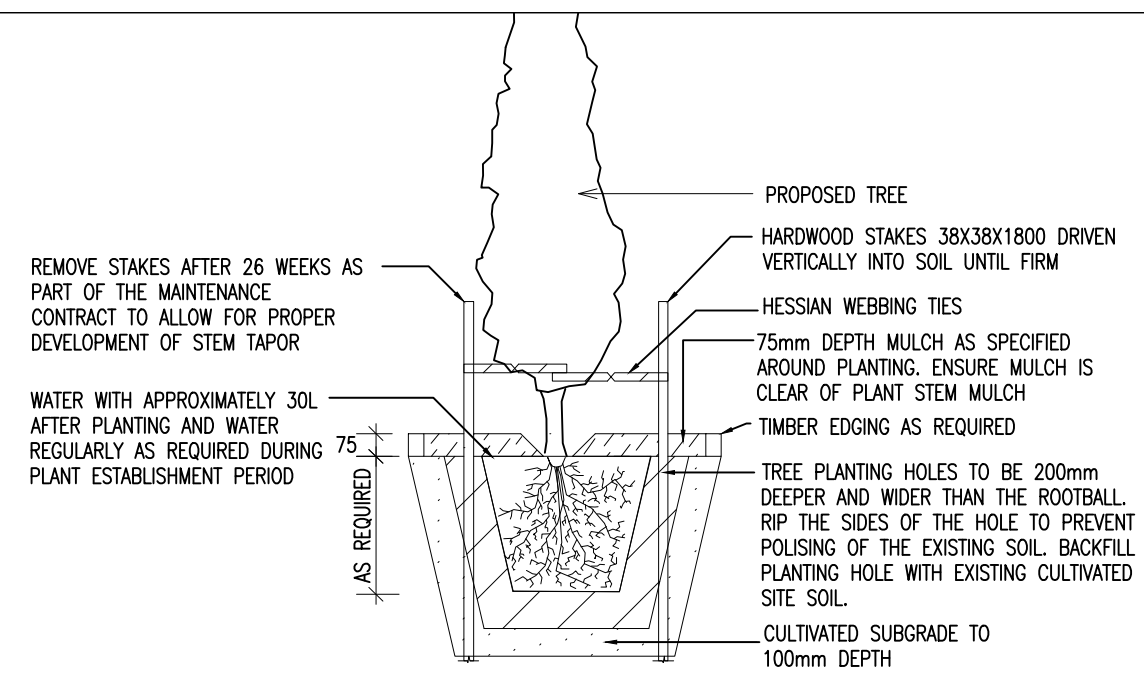
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Email: g.drafting@gmail.com
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Building Designers Australia (Member)



Address: LOT 8129 - CORNER PENNYROYAL BLV AND SPEARGRASS ST, DENHAM COURT NSW 2565
LOT 8129 DP 1201937
Project: CONSTRUCTION OF TWO STOREY DWELLING

Drawing Title: CONSTRUCTION MANAGMENT PLAN			
Date	Scale	Drw no	Revision
28/05/2018	AS NOTED @ A3	A205	

	PROPOSED DWELLING		EXTENT OF 1.8M FENCE
	COLOURED CONCRETE DRIVEWAY, CROSSOVER & PATHWAY		EXTENT OF 1M FENCE/HEDGES WITH SEE-THROUGH MATERIAL OR GAPS OVER 1M HEIGHT
	LAWN AREA		PROPOSED EXCAVATION
	MULCH OR PEBBLES		
	TILES/ PAVERS		
	P.P.O.S. PRINCIPLE PRIVATE OPEN SPACE		

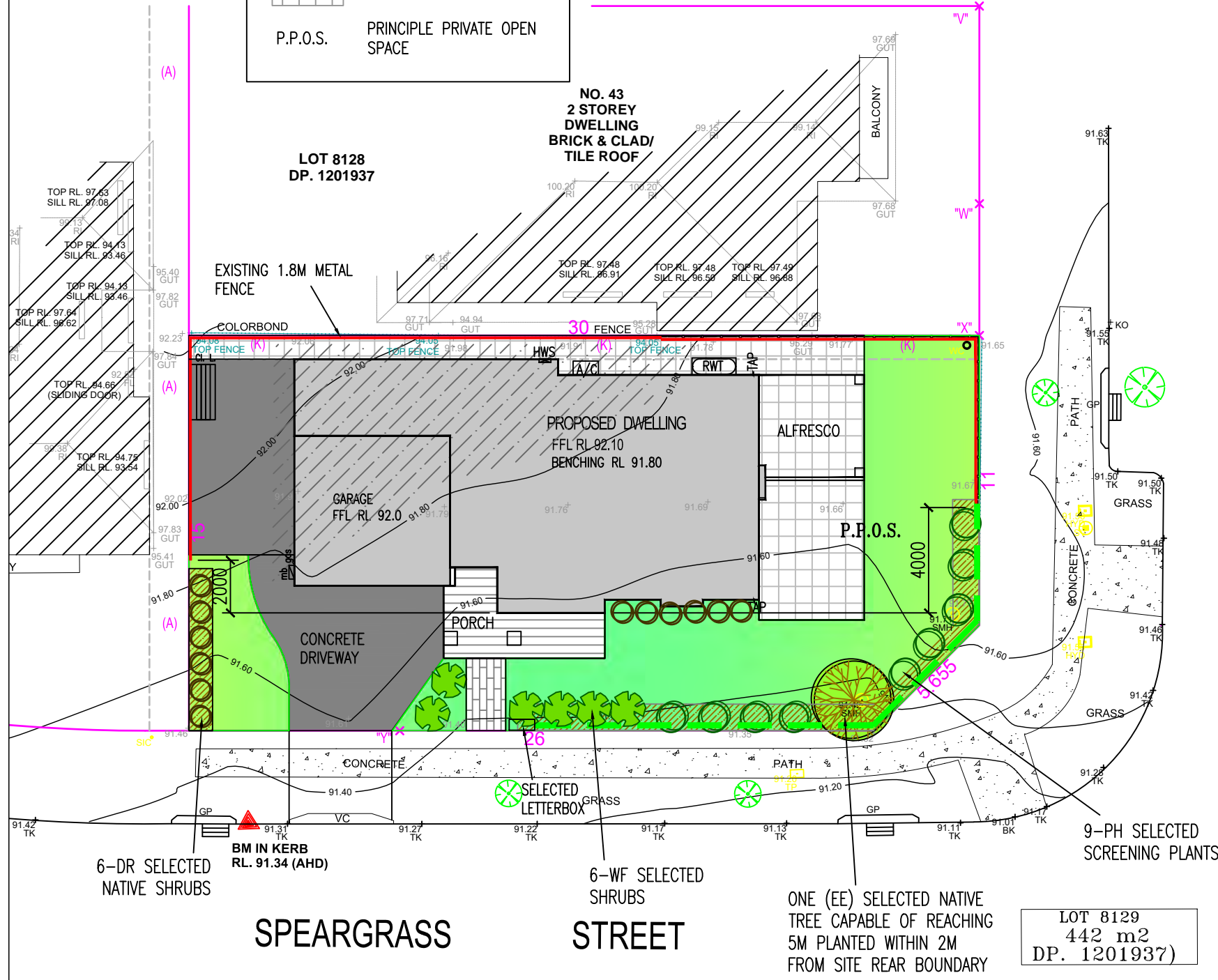


TREE PLANTING DETAIL

LANDSCAPING NOTES:

- GARDEN BEDS AND MULCH: TOPSOIL TO GARDEN BED AREAS TO BE GARDEN MIX 300MM DEEP. WOOD CHIP MULCH TO BE SPREAD OVER GARDEN BEDS TO A DEPTH OF 75MM
- PROPOSED TREES: ALL TREE PLANTING HOLES ARE TO BE EXCAVATED 200MM WIDER AND AT LEAST 200MM DEEPER THAN THE ROOTBALL SIZE. ALL TREES ARE TO BE DOUBLE STACKED AND SECURED WITH HESSIAN TIES.
- RETAINING WALLS: EXTENT, HEIGHT AND POSITION OF ALL RETAINING WALLS SHALL BE DETERMINED AND APPROVED ON SITE BY BUILDER/CLIENT, TO STRUCTURAL ENGINEERS DETAIL IF REQUIRED.
- STANDARDS: ALL MATERIALS AND STANDARDS OF WORKMANSHIP TO COMPLY WITH THE PROVISIONS OF RELEVANT AUSTRALIAN STANDARDS.

PROPOSED PLANTING SCHEDULE				
PROPOSED NATIVE /LOW WATER USE TREES AND SHRUBS - (TO BE CONFIRMED BY OWNER)				
CODE	PLANT SPECIES BOTANICAL NAME (COMMON NAME)	POT SIZE (mm)	MATURE SIZE (hwxw)m	PANT FEATURES
PH	PHOTINIA "RED ROBIN"	200	1X2	A HEDGE PLANT WITH BRIGHT RED NEW FOLIAGE AND GLOSSY GREEN MATURE LEAVES
SC	(alternative hedge) SYZYGIUM "CASCADE"	200	1X2	SLIGHTLY DROOPING HABIT
WF	WESTRINGIA FRUTICOSA (COAST ROSEMARY)	200	1.5X1.5	WHITE FLOWERS, BUSHY SHRUB
ER	ELAEOCARPUS RETICULATUS (BLUE BERRY ASH)	45L	6.0X4.0	EVERGREEN SCREEN / SHADE WHITE FLOWERS
EE	ELAEOCARPUS EUMUNDI (SMOOTH LEAFED QUANDONG)	45L	6.0X3.0	MID-SIZED RAINFOREST TREE WITH DARK GREEN, GLOSSY LEAVES
DR	DIANELLA REVOLUTA (BLUE FLAX-LILY)	200	1.0X1.0	BLUISH-GREEN LEAVES, STIFF, STRAP-LIKE



PENNYROYAL BOULEVARD

SPEARGRASS STREET

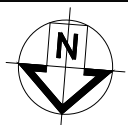
LOT 8129
442 m²
DP. 1201937)

(A) EASEMENT TO DRAIN WATER 1.5 WIDE
(K) EASEMENT FOR MAINTENANCE & ACCESS 0.9 WIDE

1 LANDSCAPE CONCEPT PLAN

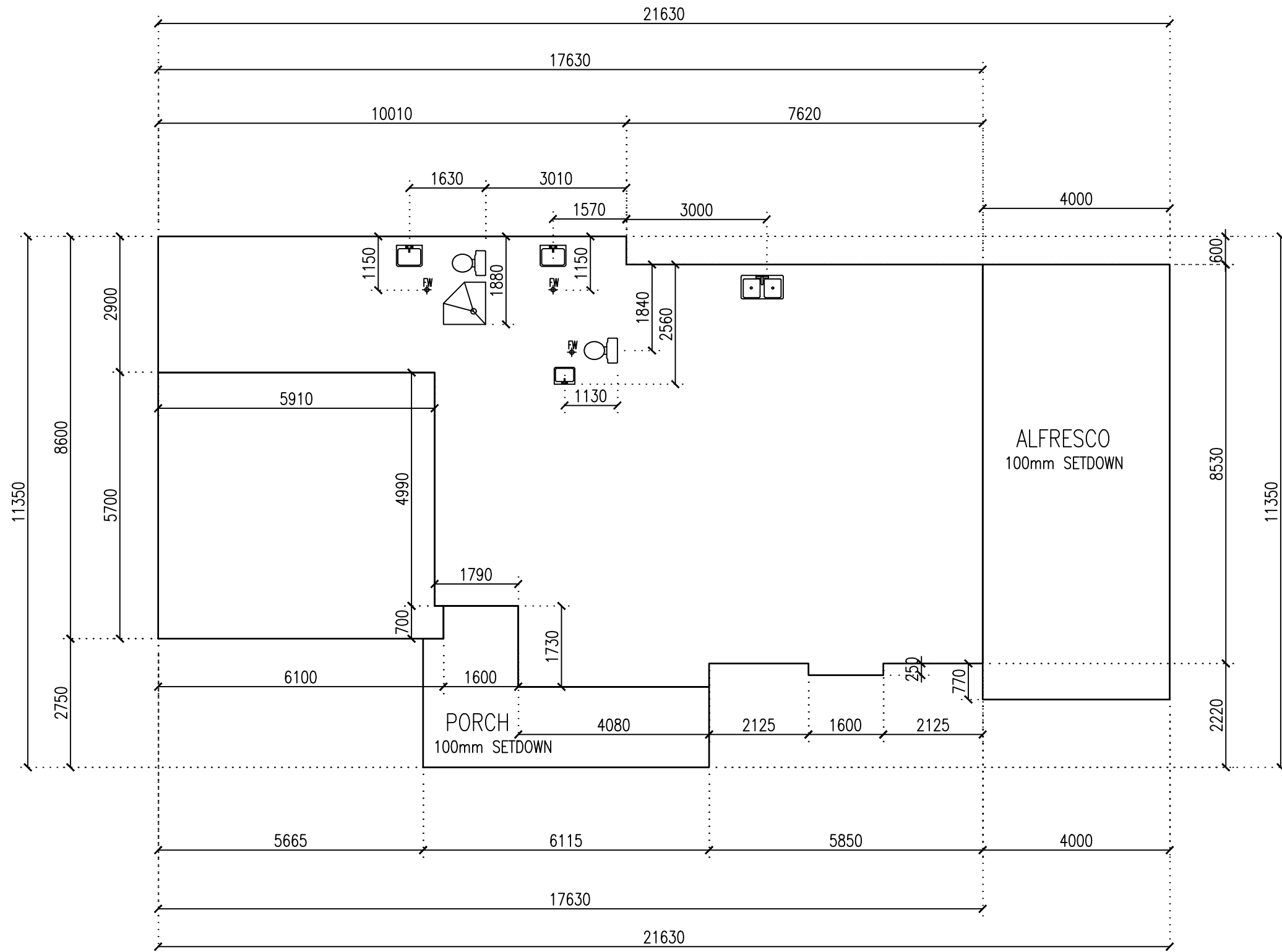
1:200

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Drawing Title: LANDSCAPING CONCEPT PLAN			
Date	Scale	Drw no	Revision
28/05/2018	AS NOTED @ A3	A206	



1 CONCRETE LAYOUT PLAN
1:100

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