

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 18/09/2014 published by the Department. This document is available at

Project summary	
Project name	73 SAWSEDGE AVE, DENHAM COURT NSW 2565
Street address	73 road sawsedge Avenue DENHAM COURT 2565
Local Government Area	Campbelltown City Council
Plan type and plan number	deposited 1206598
Lot no.	9251
Section no.	1 no
Project type	separate dwelling house
No. of bedrooms	5

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Site details	
Site area (m ²)	410
Roof area (m ²)	181
Conditioned floor area (m ²)	176.0
Unconditioned floor area (m ²)	94.0
Total area of garden and lawn (m ²)	141

Assessor details and thermal loads			
Assessor number	n/a		
Certificate number	n/a		
Climate zone	n/a		
Area adjusted cooling load (MJ/m ² .year)	n/a		
Area adjusted heating load (MJ/m ² .year)	n/a		
Other			
none	n/a		
Project score			
Water	✓ 40	Target 40	
Thermal Comfort	✓ Pass	Target Pass	
Energy	✓ 51	Target 40	

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 80 square metres of the site.	✓	✓	
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 4.5 but <= 6 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✓	✓
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✓	✓
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 1200 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 100 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Window/glazed door no.	Orientation	Maximum area (square metres)	Type	Shading	Overshadowing
W1	SW	7.14	improved aluminium, single pyrolytic low-e (U-value:4.48, SHGC:0.46)	eave/verandah/ pergola/balcony 450 mm	not overshadowed
W2	NW	1.53	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	none	not overshadowed
W3	SW	3.24	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	none	not overshadowed
W4 /W5	SW	2.60	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	none	not overshadowed
W6	SE	4.41	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 450 mm	not overshadowed
D1	SE	6.48	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 450 mm	not overshadowed

W7/W8/W9/D2	NE	10.35	improved aluminium, single pyrolytic low-e (U-value:4.48, SHGC:0.46)	none	not overshadowed
D3	NW	5.04	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 1,500-2,000 mm	not overshadowed
W101/D101	NW	5.40	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 1,201-1,500 mm	not overshadowed
W102/W103/W104/W105	NE	6.11	improved aluminium, single pyrolytic low-e (U-value:4.48, SHGC:0.46)	eave/verandah/ pergola/balcony 450 mm	not overshadowed
108/107	SE	1.80	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 450 mm	not overshadowed
W108/W109/W110/W111	SW	13.20	improved aluminium, single pyrolytic low-e (U-value:4.48, SHGC:0.46)	eave/verandah/ pergola/balcony 450 mm	not overshadowed
W112	NW	1.53	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 450 mm	not overshadowed
W113	NW	3.57	improved aluminium, single pyrolytic low-e (U-value:4.48, SHGC:0.46)	none	not overshadowed

Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.			
	✓	✓	✓

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	nil	
floor - suspended floor above garage, framed	0.3 (or 1 including construction) (down)	
external wall - brick veneer	1.66 (or 2.20 including construction)	
external wall - framed (weatherboard, fibre cement, metal clad)	1.80 (or 2.20 including construction)	
internal wall shared with garage - plasterboard	nil	
ceiling and roof - flat ceiling / pitched roof	ceiling: 1.95 (up), roof: foil backed blanket (55mm)	unventilated; dark (solar absorptance > 0.70)

Note: Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.

REGISTER

Sheet Number Sheet Title

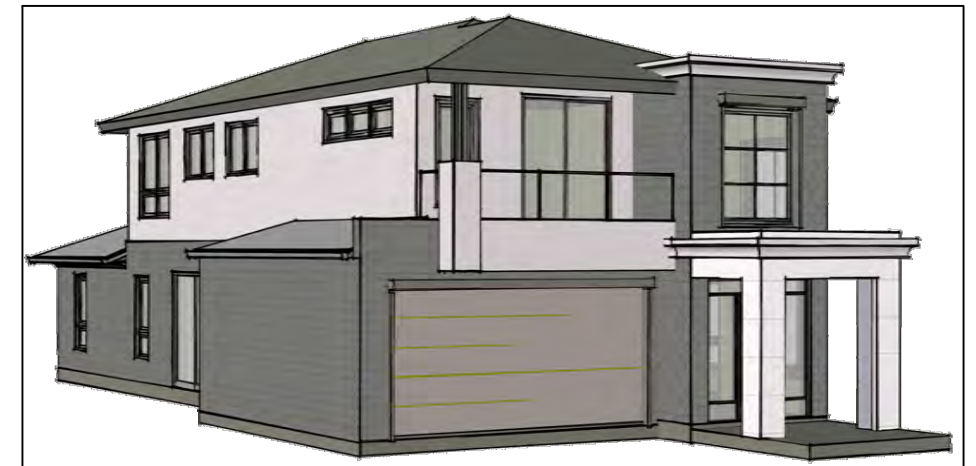
A101	COVER SHEET, BASIX AND NOTES
A102	SITE PLAN AND COMPLIANCE TABLE
A103	GROUND FLOOR PLAN
A104	FIRST FLOOR PLAN
A105	ELEVATIONS
A106	ELEVATIONS
A107	SECTIONS
A108	CONSTRUCTION MANAGEMENT PLAN
A109	LANDSCAPING CONCEPT PLAN
A110	CONCRETE LAYOUT
A111	ROOF PLAN
A112	SCHEDULES

PROPOSED DOUBLE STOREY BRICK VENEER DWELLING

73 SAWSEDGE AVE, DENHAM COURT NSW 2565

LOT 9251 IN DP 1206598

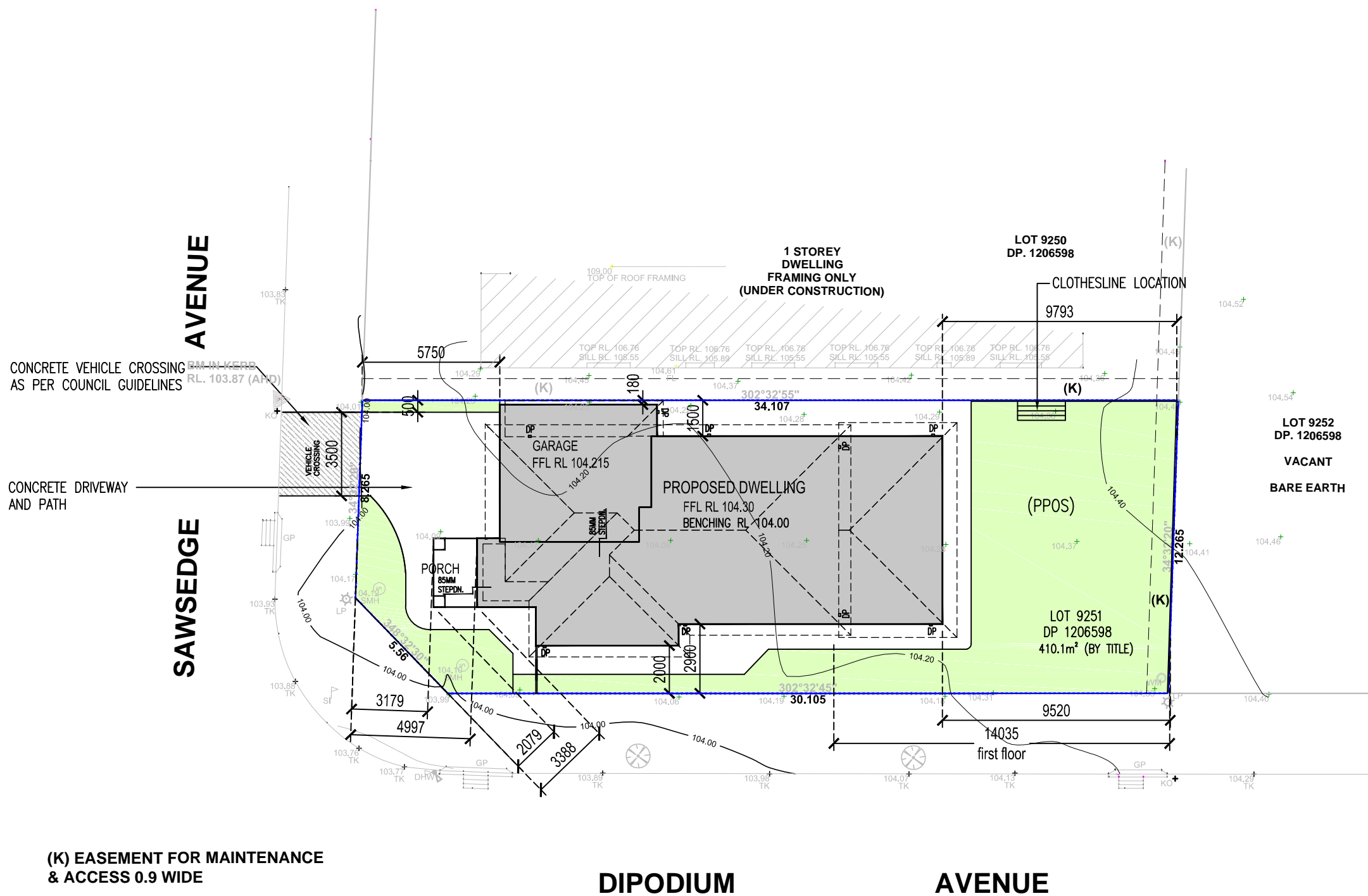
LGA: CAMPBELLTOWN



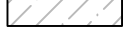



Construction notes:

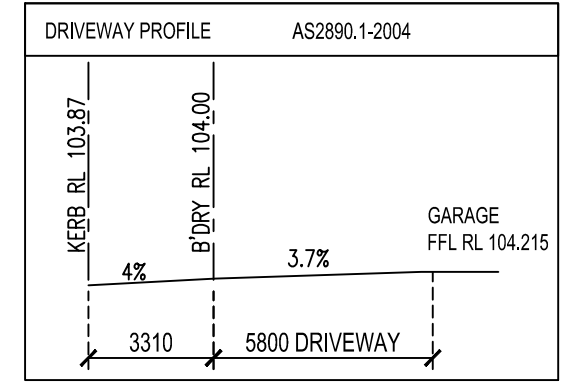
1. Earthwork, excavation and fill works shall comply with part 3.1.1 of NCC Vol.2
2. Drainage work shall comply with part 3.1.2 of NCC Vol.2 and AS3500.
3. Termite management as per part 3.1.3 of NCC 2016 vol. 2.
4. Footings and slabs to comply with part 3.2 of NCC 2016 vol. 2 and AS2870-2011
5. Timber Framing engineered and manufactured in accordance with part 3.4.0 of NCC 2016 vol. 2 and AS1684.4-2010.
6. Roof cladding to comply with part 3.5.1 of NCC 2016 vol. 2 and AS1562.1-1992
7. Wall cladding to comply with part 3.5.3 of NCC 2016 vol. 2
8. Wet areas to comply with part 3.8.1 of NCC 2016 vol. 2 and AS3740-2010
9. Stairways and door thresholds to have slip resistant finish to comply with NCC 2016 Vol 2 part 3.9.1

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 3 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 4.5 Star (new rating)		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 4.5 Star (new rating)		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 4.5 Star (new rating)		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 4.5 Star (new rating)		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, not ducted; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to facade or roof; Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 5 of the bedrooms / study; dedicated		✓	✓
• at least 3 of the living / dining rooms; dedicated		✓	✓
• the kitchen; dedicated		✓	✓
• all bathrooms/toilets; dedicated		✓	✓
• the laundry; dedicated		✓	✓
• all hallways; dedicated		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	



LEGEND

-  PROPOSED EXCAVATION
-  PROPOSED DWELLING
-  PROPOSED FRONT HARD SURFACE
-  PROPOSED LANDSCAPING

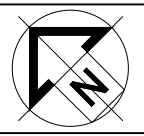


COMPLIANCE TABLE			
State Environmental Planning Policy (Exempt and Complying Development Codes) 2008			
floor areas are measured from outside face of external walls			
SITE AREA - ZONE R2 LOW DENSITY RESIDENTIAL	(Approx.) Site Area:		410.1
	Control / compliance		
A	Ground living floor area	120.8 m ²	
B	First floor living area	108 m ²	
C	Attached Garage/storage	36 m ²	
D	Porch	5 m ²	
Total Floor Area (A+B+C+D)		269.8 m ²	270m ² - YES
Site coverage (A+C+D) / site area		161.8 39.45 %	55% - YES
Landscaping		141 34%	15% - YES
Landscaping forward building line		20/ 51m ² 39%	25% - YES
Landscaping behind building line / area		121/ 141m ² 85%	50% - YES

(K) EASEMENT FOR MAINTENANCE & ACCESS 0.9 WIDE

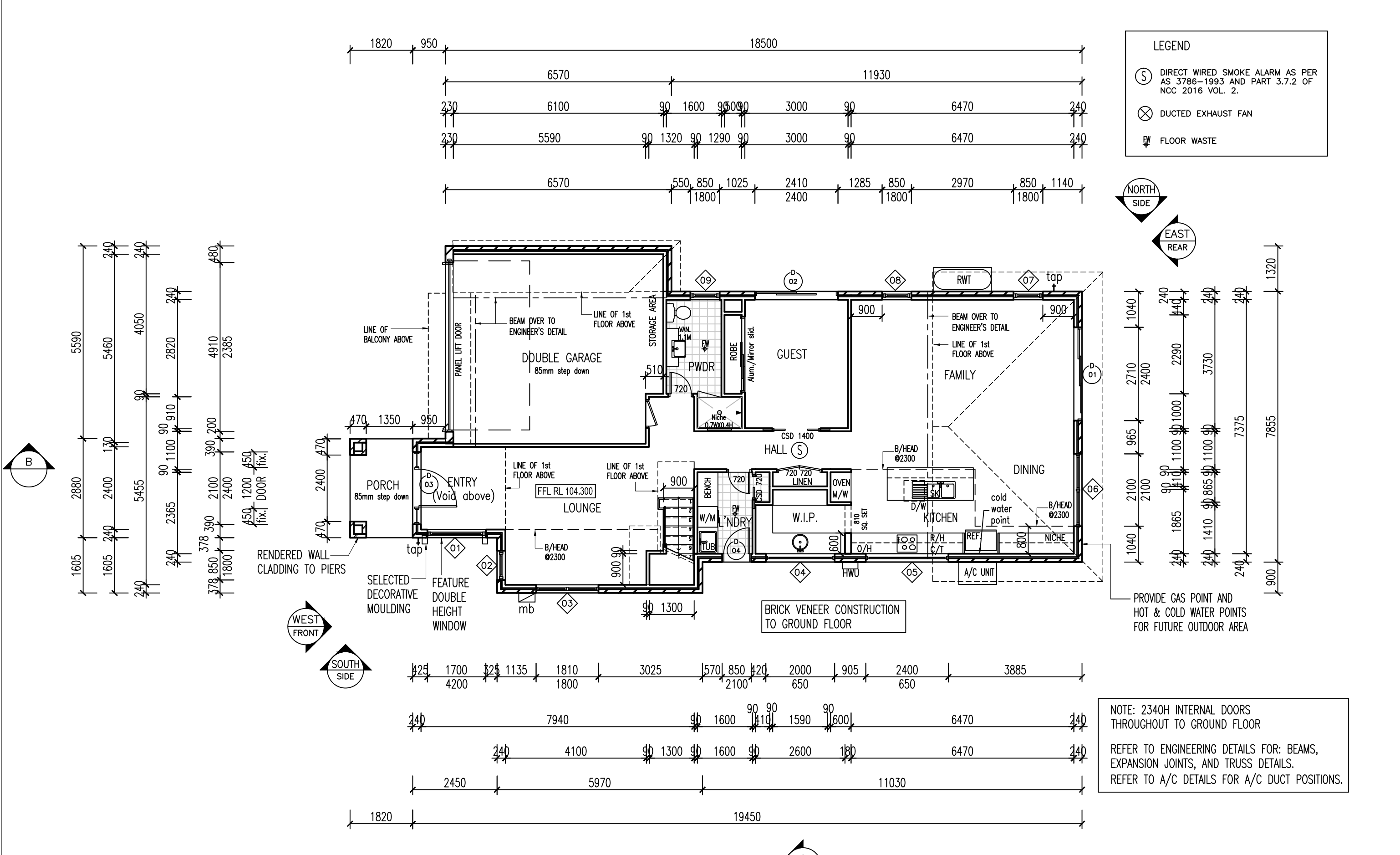
1 SITE PLAN AND COMPLIANCE TABLE
1:200

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Address: 73 SAWSEDGE AVE, DENHAM COURT NSW 2565
LOT 9251 IN DP 1206598
Project: PROPOSED DOUBLE STOREY BRICK VENEER DWELLING

Drawing Title: SITE PLAN AND COMPLIANCE TABLE
Date: 25/01/2017
Scale: AS NOTED @ A3
Drw no: A102
Revision:

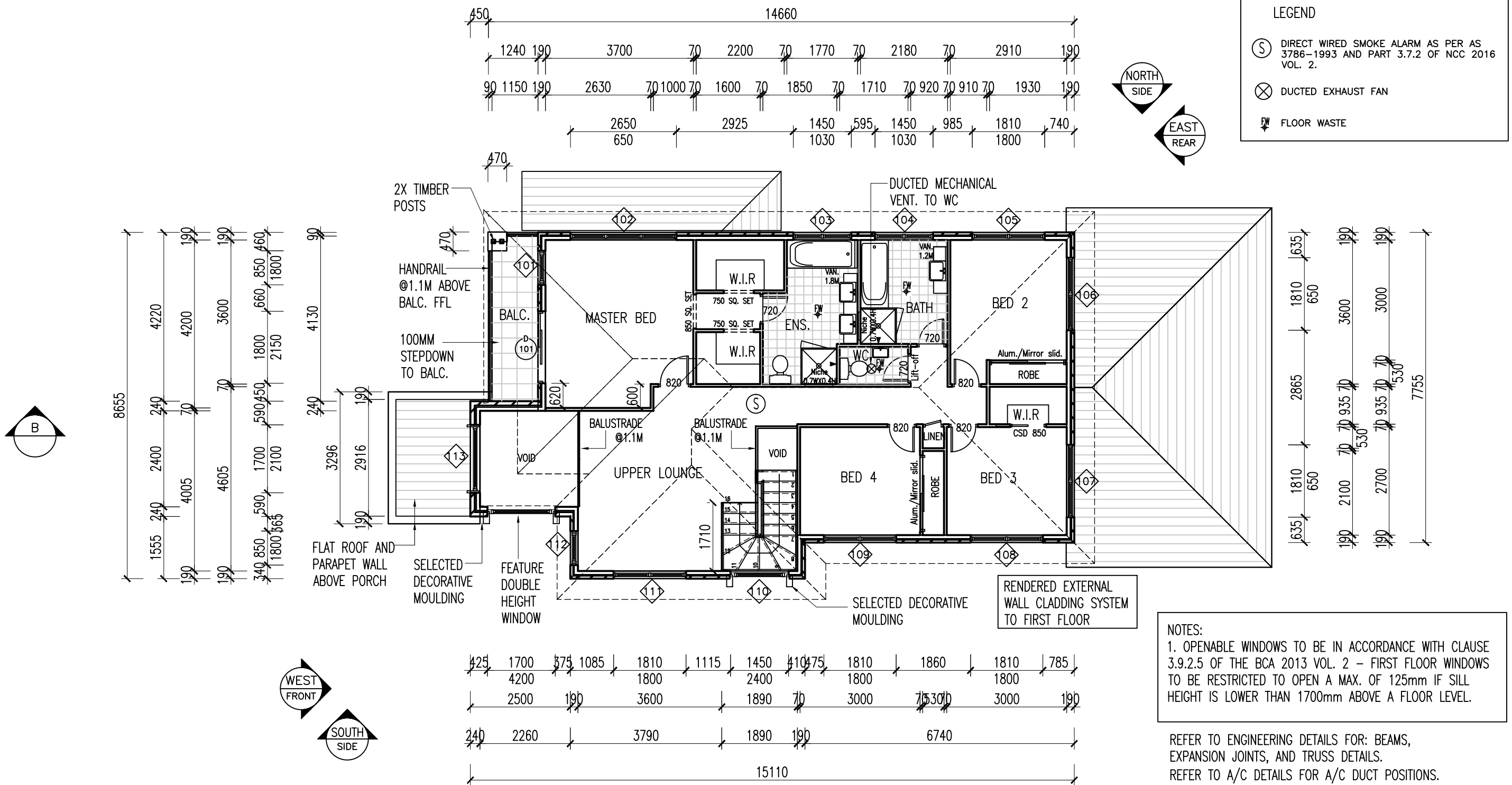


1 GROUND FLOOR PLAN
1:100



LEGEND

- ⊙ DIRECT WIRED SMOKE ALARM AS PER AS 3786-1993 AND PART 3.7.2 OF NCC 2016 VOL. 2.
- ⊗ DUCTED EXHAUST FAN
- FW FLOOR WASTE



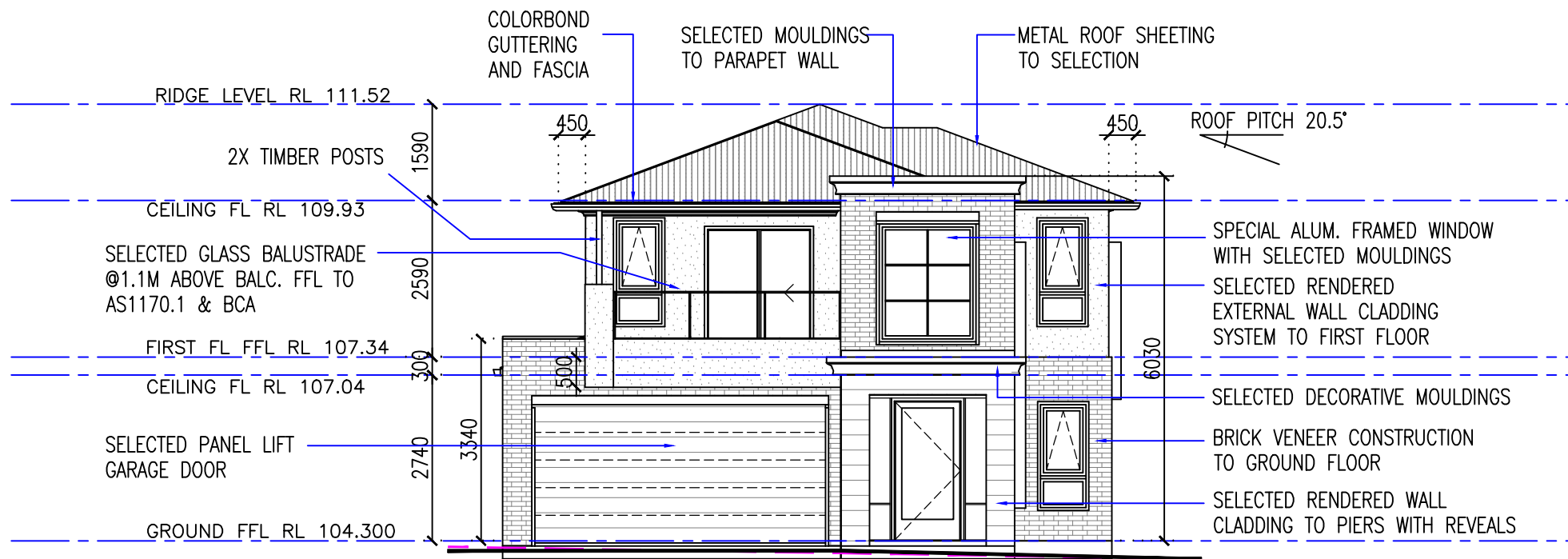
NOTES:
 1. OPENABLE WINDOWS TO BE IN ACCORDANCE WITH CLAUSE 3.9.2.5 OF THE BCA 2013 VOL. 2 – FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.

REFER TO ENGINEERING DETAILS FOR: BEAMS, EXPANSION JOINTS, AND TRUSS DETAILS.
 REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.

BALUSTRADE AND HANDRAIL TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA PARTS 3.9.1 AND 3.9.2, VOLUME 2 AND AUSTRALIAN STANDARD 1170.1

1 FIRST FLOOR PLAN
 1:100

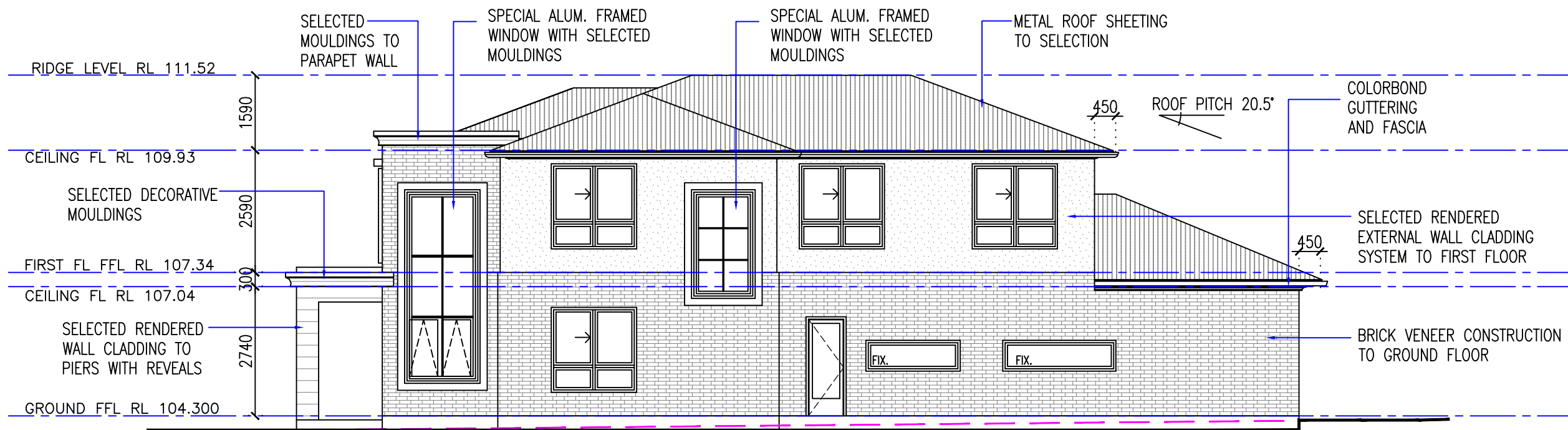




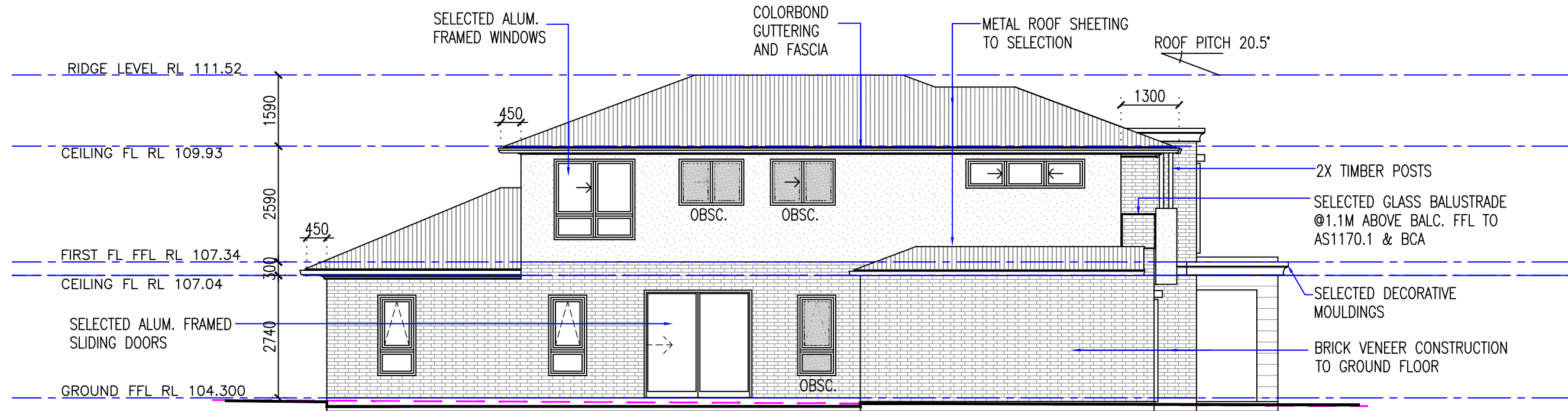
BALUSTRADE AND HANDRAIL TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA PARTS 3.9.1 AND 3.9.2, VOLUME 2 AND AUSTRALIAN STANDARD 1170.1

1 WEST ELEVATION (FRONT)
1:100

NOTES:
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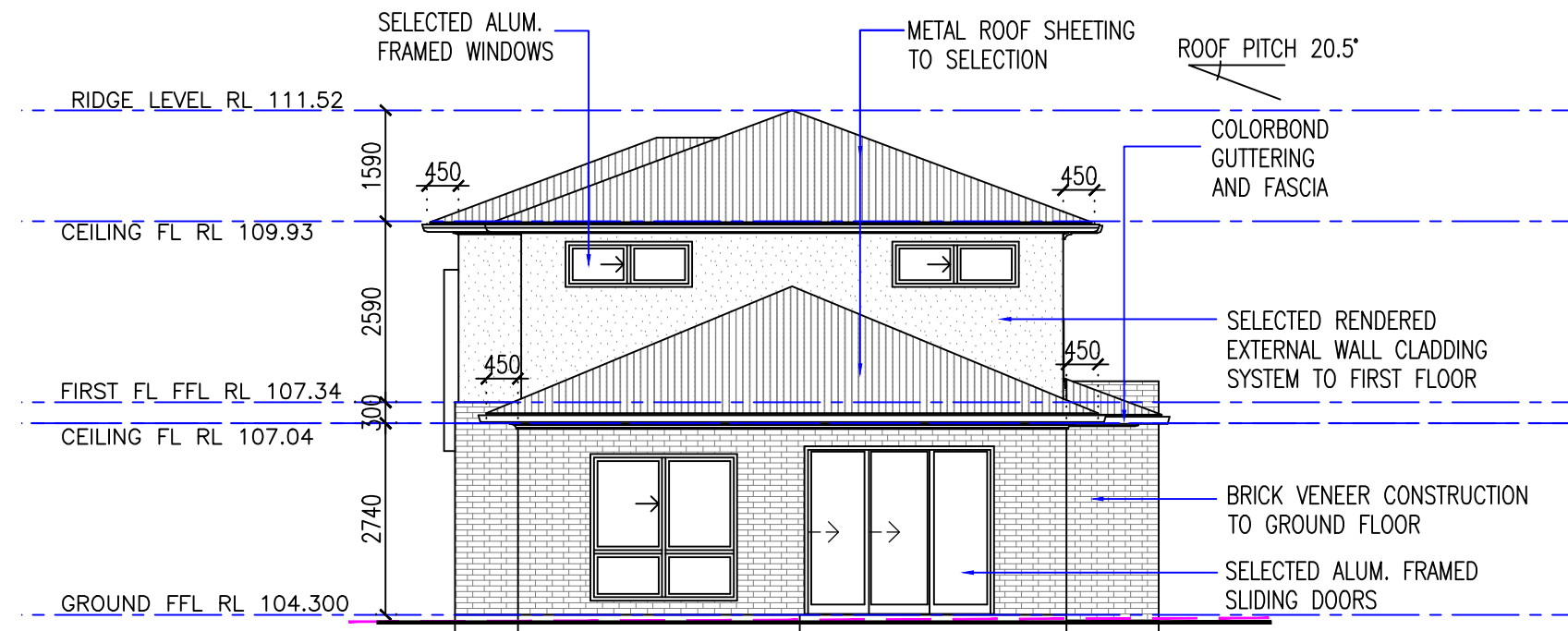


2 SOUTH ELEVATION (SIDE)
1:100

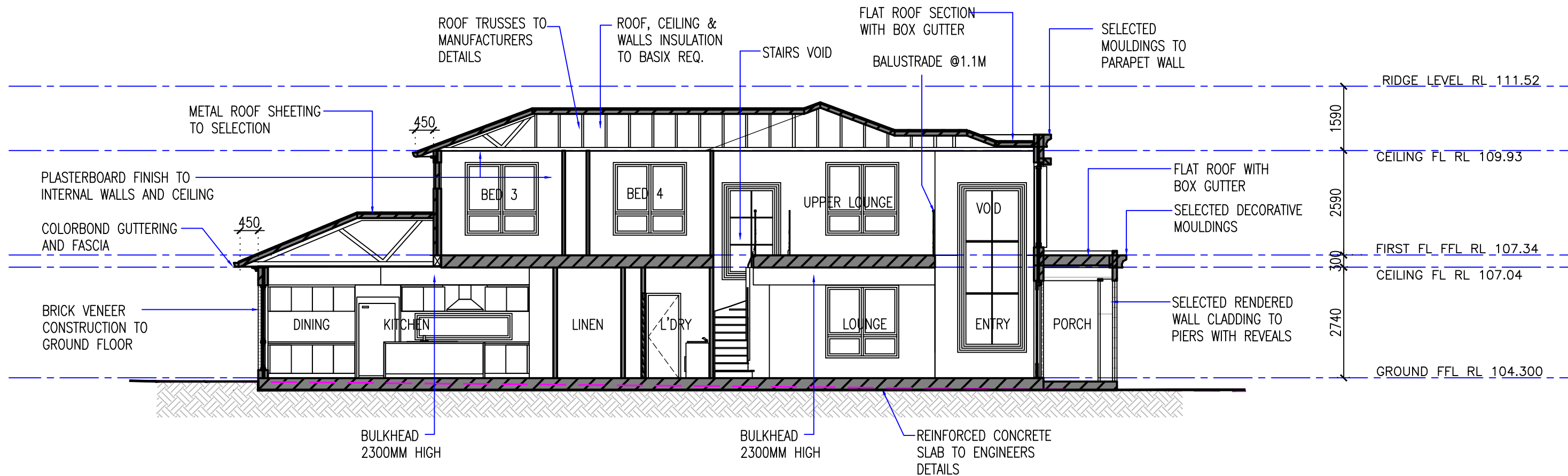


1 NORTH ELEVATION (SIDE)
1:100

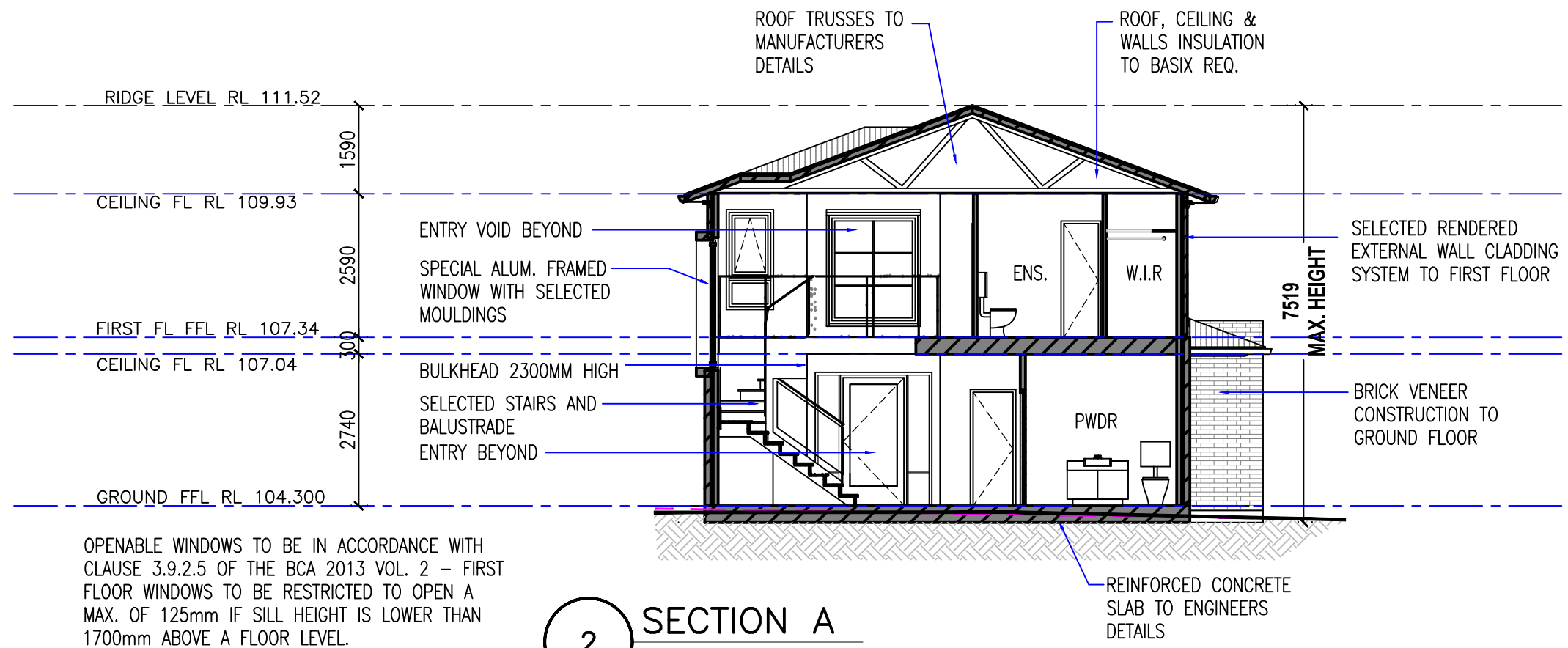
NOTES:
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2 EAST ELEVATION (REAR)
1:100

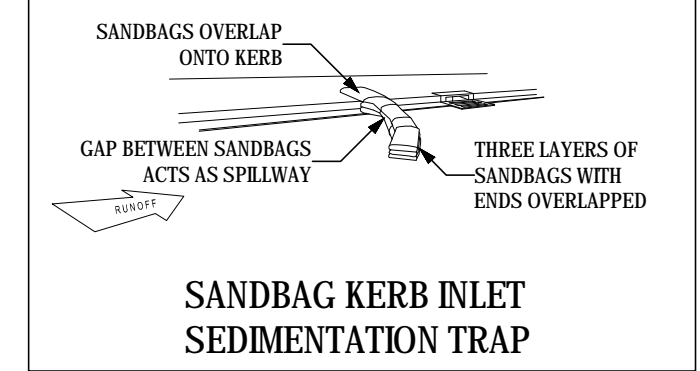
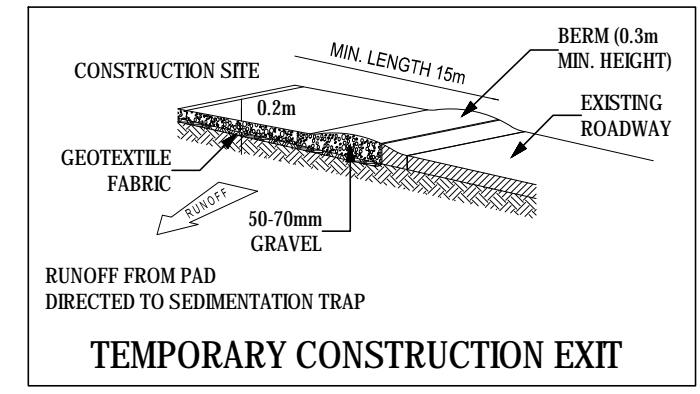
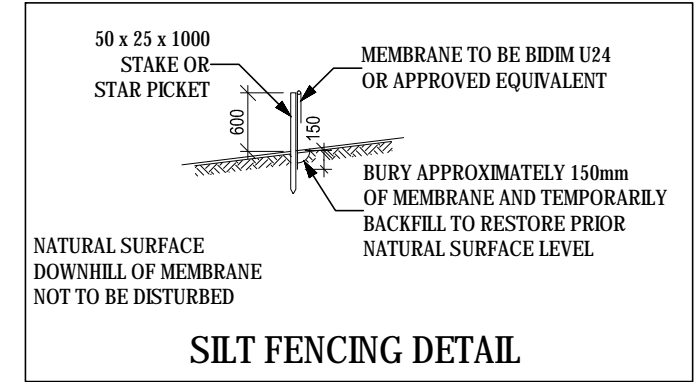
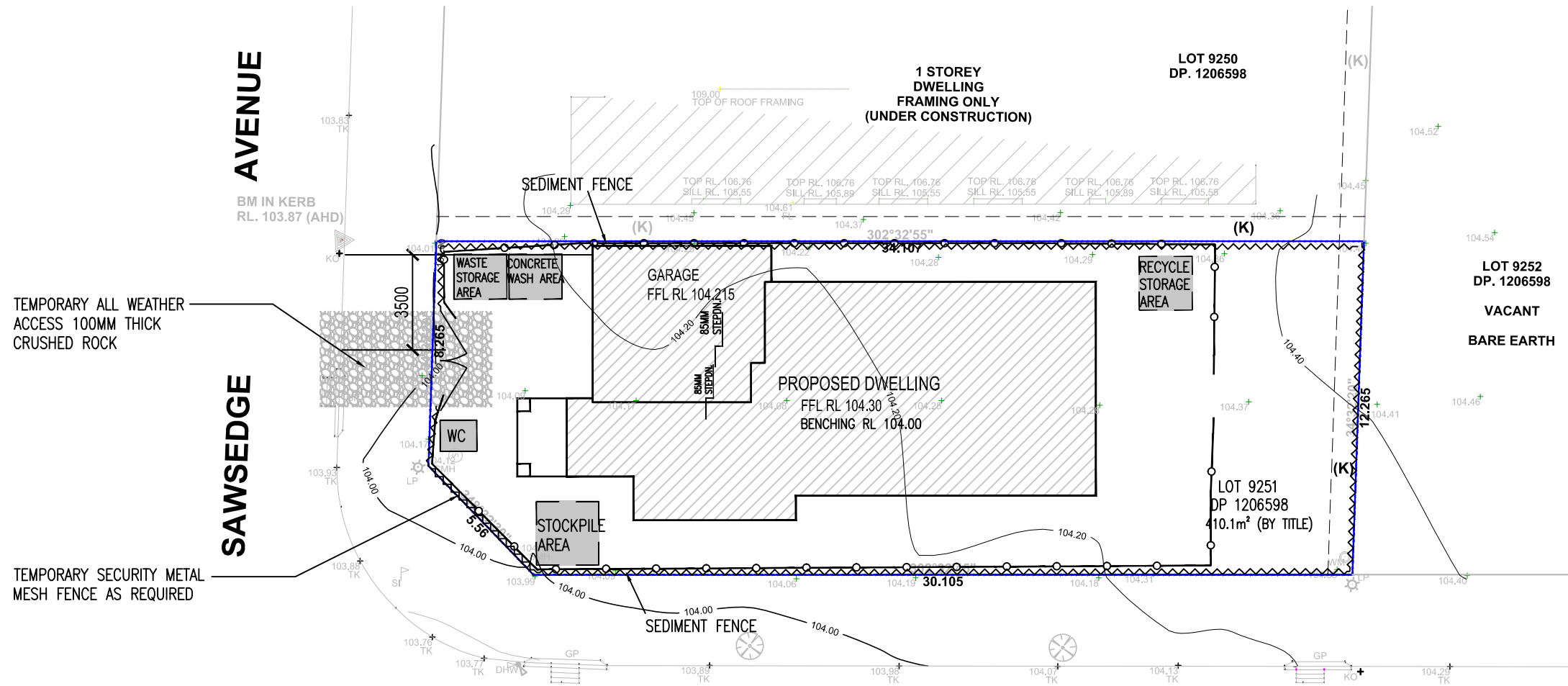


3 SECTION B
1:100



2 SECTION A
1:100

OPENABLE WINDOWS TO BE IN ACCORDANCE WITH CLAUSE 3.9.2.5 OF THE BCA 2013 VOL. 2 – FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.



(K) EASEMENT FOR MAINTENANCE & ACCESS 0.9 WIDE

DIPODIUM AVENUE

SEDIMENT FILTER FENCE NOTES

1. Setout posts along the length of the proposed fence. Space posts a maximum of 3m apart and drive them at least 0.6m into the ground.
2. Excavate a trench approximately 0.1m wide and 0.2m deep along the line of posts and upslope from the barrier
3. Fasten wire mesh securely to the upslope side of posts. Use heavy-duty wire staples at least 2.5cm long and tie wire. Extend the wire mesh 0.15m into the trench wire fence reinforcement for sediment fences must be a minimum of 14 gauge & have a maximum mesh spacing of 0.15m
4. Fasten the filter fabric to the uphill side of the fence posts, & extend it 0.2m into the trench. The height of the fence should not exceed 0.6m.
5. Cut the filter fabric from a continuous roll to avoid the use of joints. When joints are necessary, splice the filter cloth at a support post, with a minimum 0.15m overlap, & securely fasten both ends to the post.
6. Back fill the trench over the toe of the fabric & compact soil
7. Inspect & repair fence after each rain event for undercutting, sagging and overtopping.

1 CONSTRUCTION MANAGEMENT PLAN
1:200

DEMOLITION / CONSTRUCTION NOTES:

1. ALL CONSTRUCTION TO COMPLY WITH THE PROVISIONS OF THE BCA AND THE RELEVANT AUST. STANDARDS (AS) SO REFERENCED.
2. REFER TO STRUCTURAL ENGINEER REPORT FOR SPECIFIC DEMOLITION INSTRUCTIONS AND REQUIREMENTS PRIOR TO DEMOLITION.
3. IT IS THE RESPONSIBILITY OF THE BUILDER / CONTRACTOR TO LOCATE ALL SERVICES PRIOR TO DEMOLITION / CONSTRUCTION. SERVICES INCLUDE POWER, GAS, PHONE, WATER & SEWER.
4. MAINTAIN EXISTING UTILITIES IN SERVICE AND PROTECT AGAINST DAMAGE.
5. DISPOSAL OF DEMOLISHED AND REMOVED MATERIALS TO COMPLY WITH COUNCIL REQUIREMENTS.
6. THE BUILDER/OWNER IS RESPONSIBLE FOR CHECKING EACH DRAWING PRIOR TO ISSUING FOR APPROVAL / CONSTRUCTION.
7. DO NOT SCALE FROM DRAWINGS TO DETERMINE A DIMENSION. ALL DIMENSIONS PROVIDED ARE TO BE CHECKED & VERIFIED BY THE BUILDER/OWNER PRIOR TO ANY CONSTRUCTION COMMENCING.
8. DIMENSIONS OF EXISTING BUILDING ARE APPROXIMATE

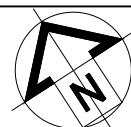
Sediment control notes:

1. All erosion and sediment control measures including re-vegetation and storage of soil shall be implemented to the standards of the soil conservation of nsw
2. All drainage works shall be constructed as early as possible during development
3. Sediment traps shall be constructed around all inlet pits, consisting of 300mm wide x 300mm deep trench.
4. All sediment basins and traps shall be cleared when structures are a minimum of 60% full of soil materials including the maintenance period.
5. All disturbed areas shall be re-vegetated as soon as the relevant works are completed.
6. Soil and stockpiles shall be located away from drainage lines and area where water may concentrate.
7. Filter shall be constructed by stretching a filter fabrics (propex or approved equivalent) between posts at 3.0m centres. fabric to be barred 150mm along lower

Erosion control notes:

1. All erosion and situation control devices are to be placed prior to commencement of any construction works.
2. All silt traps are to have deposited silt removed regularly during construction.
3. All trees are to be preserved unless indicated otherwise on drawings.
4. Install temporary sediment barrier to all inlet pits likely to collect silt laden water, to council requirements.
5. It is the contractors sole responsibility to ensure that all activities comply with requirements of the clean waters act.

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Project: PROPOSED DOUBLE STOREY BRICK VENEER DWELLING

Drawing Title: CONSTRUCTION MANAGEMENT PLAN

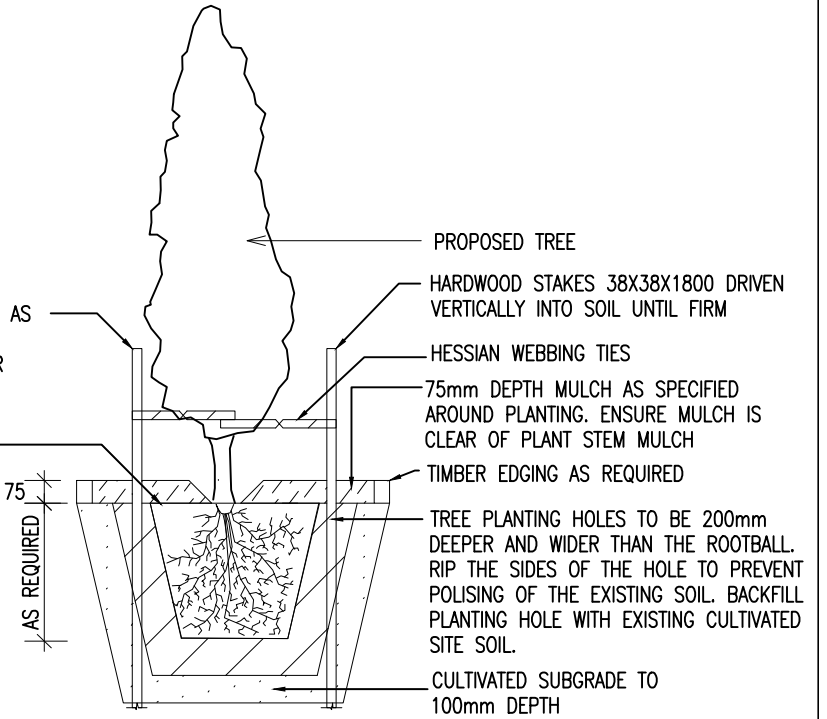
Date	Scale	Drw no	Revision
25/01/2017	AS NOTED @ A3	A108	

LEGEND	
	PROPOSED DWELLING
	COLOURED CONCRETE DRIVEWAY, CROSSOVER & PATHWAY
	LAWN AREA
	DECORATIVE PEBBLES
	PAVERS
	P.O.S. PRINCIPLE PRIVATE OPEN SPACE

SITE AREA: 410.1 m²
 TOTAL LANDSCAPE AREA: 141 m²
 LANDSCAPE AREA (%) 34 %

REMOVE STAKES AFTER 26 WEEKS AS PART OF THE MAINTENANCE CONTRACT TO ALLOW FOR PROPER DEVELOPMENT OF STEM TAPOR

WATER WITH APPROXIMATELY 30L AFTER PLANTING AND WATER REGULARLY AS REQUIRED DURING PLANT ESTABLISHMENT PERIOD

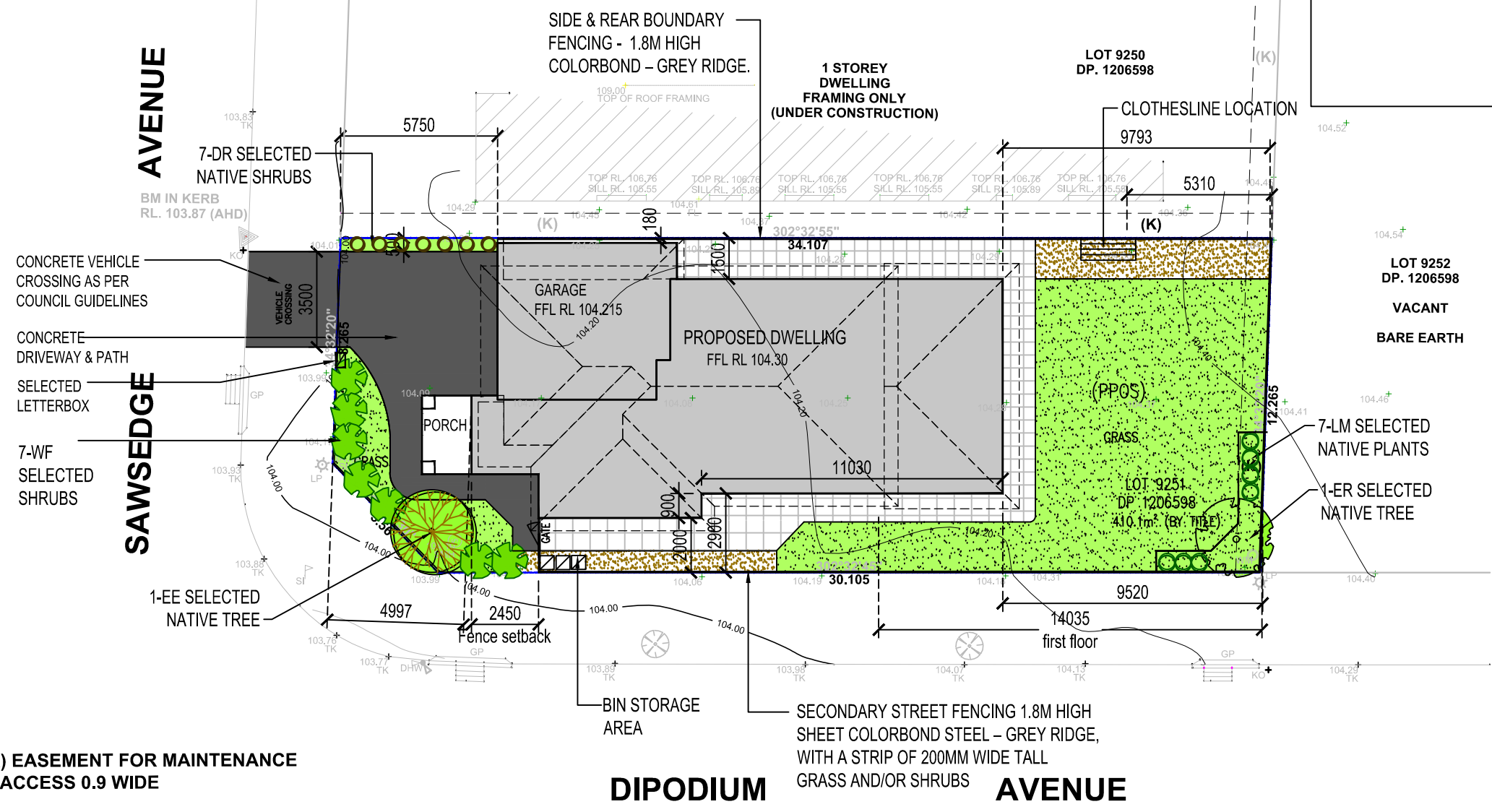


TREE PLANTING DETAIL

LANDSCAPING NOTES:

- GARDEN BEDS AND MULCH: TOPSOIL TO GARDEN BED AREAS TO BE GARDEN MIX 300MM DEEP. WOOD CHIP MULCH TO BE SPREAD OVER GARDEN BEDS TO A DEPTH OF 75MM
- PROPOSED TREES: ALL TREE PLANTING HOLES ARE TO BE EXCAVATED 200MM WIDER AND AT LEAST 200MM DEEPER THAN THE ROOTBALL SIZE. ALL TREES ARE TO BE DOUBLE STACKED AND SECURED WITH HESSIAN TIES.
- RETAINING WALLS: EXTENT, HEIGHT AND POSITION OF ALL RETAINING WALLS SHALL BE DETERMINED AND APPROVED ON SITE BY BUILDER/CLIENT, TO STRUCTURAL ENGINEERS DETAIL IF REQUIRED.
- STANDARDS: ALL MATERIALS AND STANDARDS OF WORKMANSHIP TO COMPLY WITH THE PROVISIONS OF RELEVANT AUSTRALIAN STANDARDS.

PROPOSED PLANTING SCHEDULE				
PROPOSED NATIVE /LOW WATER USE TREES AND SHRUBS – (TO BE CONFIRMED BY OWNER)				
CODE	PLANT SPECIES BOTANICAL NAME (COMMON NAME)	POT SIZE (mm)	MATURE SIZE (hwxm)	PANT FEATURES
LM	LOMANDRA LONGIFOLIA (MAT RUSH)	200	0.7X1.0	LARGE PERENNIAL TUSSOCK GRASS WITH LONG FLAT LEAVES
WF	WESTRINGIA FRUTICOSA (COAST ROSEMARY)	200	1.5X1.5	WHITE FLOWERS, BUSHY SHRUB
ER	ELAEOCARPUS RETICULATUS (BLUE BERRY ASH)	45L	6.0X4.0	EVERGREEN SCREEN / SHADE WHITE FLOWERS
EE	ELAEOCARPUS EUMUNDI (SMOOTH LEAFED QUANDONG)	45L	6.0X3.0	MID-SIZED RAINFOREST TREE WITH DARK GREEN, GLOSSY LEAVES
DR	DIANELLA REVOLUTA (BLUE FLAX-LILY)	200	1.0X1.0	BLUISH-GREEN LEAVES, STIFF, STRAP-LIKE



(K) EASEMENT FOR MAINTENANCE & ACCESS 0.9 WIDE

1 LANDSCAPING CONCEPT PLAN

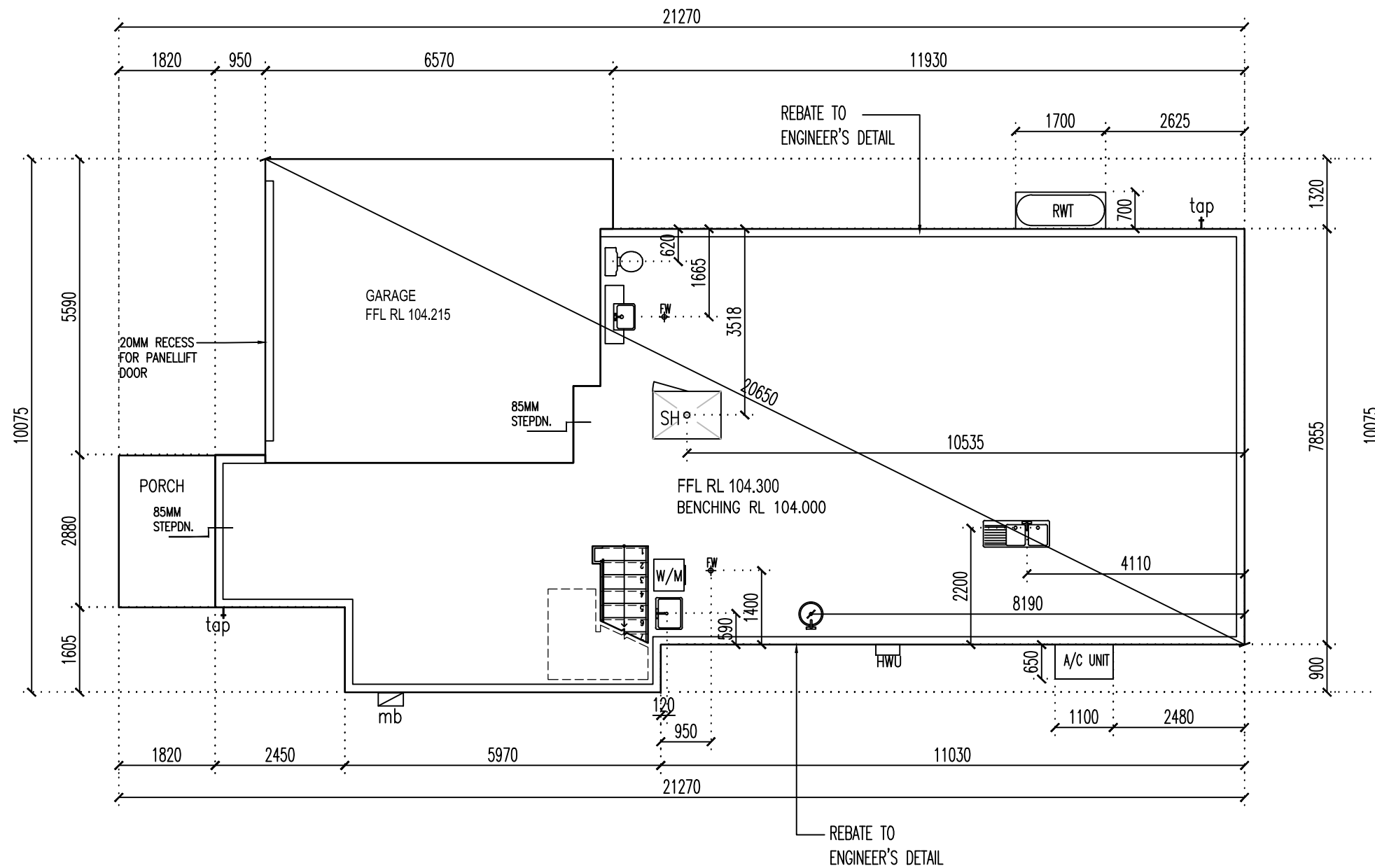
1:200

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 Building Designers Australia (Member)

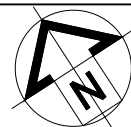


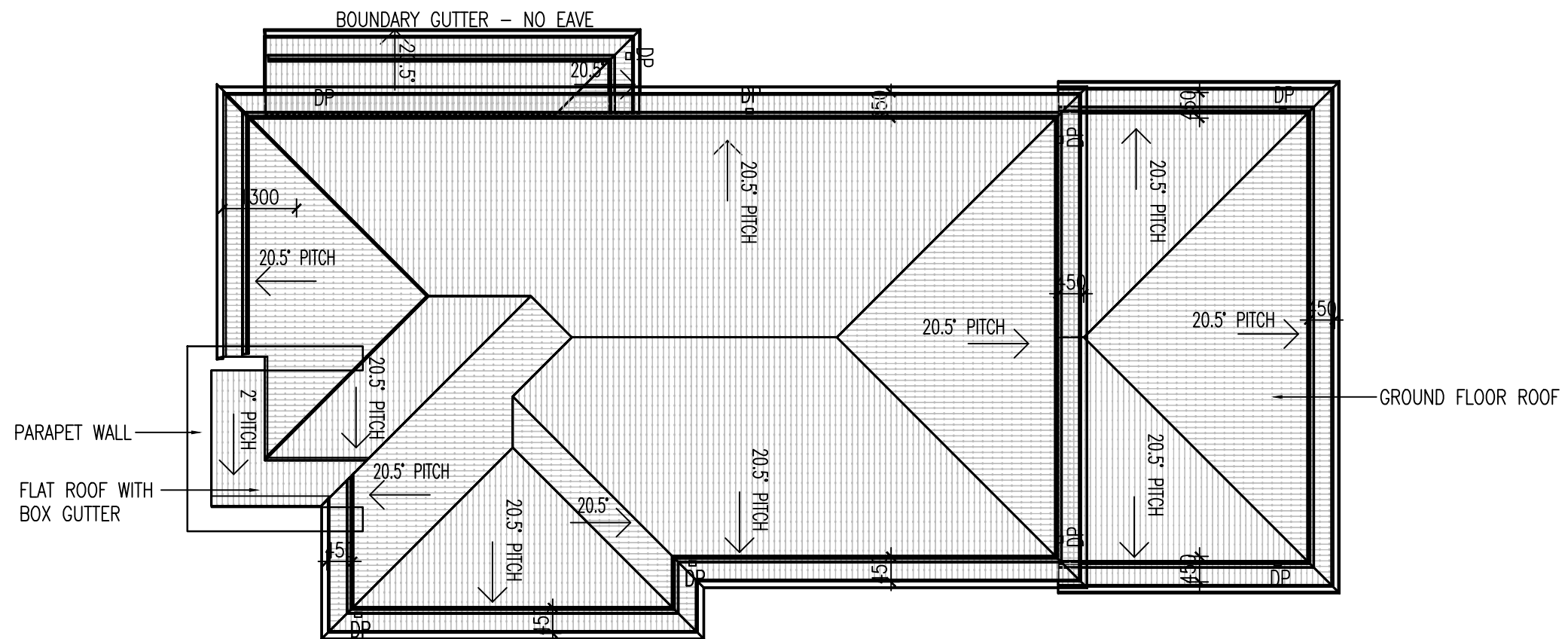
Address: 73 SAWSEDGE AVE, DENHAM COURT NSW 2565
 LOT 9251 IN DP 1206598
 Project: PROPOSED DOUBLE STOREY BRICK VENEER DWELLING

Drawing Title: LANDSCAPING CONCEPT PLAN			
Date: 25/01/2017	Scale: AS NOTED @ A3	Drw no: A109	Revision:

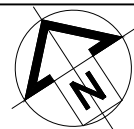


1 CONCRETE LAYOUT
1:100





1 ROOF PLAN
1:100



ITEM / MATERIAL	SUPPLIER / COLOUR	LOCATION	COLOUR SAMPLE
FACEBRICK	AUSTRAL BRICKS – COLOUR CHISEL STONE WITH OFF WHITE MORTAR	EXTERNAL WALLS	
RENDER/PAINT	TAUBMANS OFF WHITE	FRONT PIERS AND FIRST FLOOR	
ROOF TILES	COLORBOND – COLOUR MONUMENT	ROOFS	
PANELLIFT GARAGE DOOR	DECOWOOD – TIMBER LOOK STEEL – COLOUR WESTERN RED CEDAR	GARAGE DOOR	
FASCIA	EVENING HAZE		
GUTTERS	WOODLAND GREY		

WINDOWS AND DOORS SCHEDULE - GROUND FLOOR LEVEL								
Number	CODE	SIZE		Sill Height	Nominal Head Height	TYPE	MATERIAL	NOTES
		Width	Height					
01	SPECIAL	1700	4200	690	4890	FIX/AWNING	ALUM.	WITH SELECTED DECORATIVE MOULDING
02	DA1809	850	1800	500	2300	AWNING	ALUM.	
03	DS1818	1810	1800	500	2300	SLIDING	ALUM.	
04		2000	650	950	1600	FIXED	ALUM.	PANTRY SPLASHBACK
05		2000	650	950	1600	FIXED	ALUM.	KITCHEN SPLASHBACK
06	DS2121	2100	2100	200	2300	SLIDING	ALUM.	
07	DA1809	850	1800	500	2300	AWNING	ALUM.	
08	DA1809	850	1800	500	2300	AWNING	ALUM.	
09	DA1809	850	1800	500	2300	AWNING	ALUM.	OBSC.
D01	DSD2127-3	2710	2400	-	2400	SLIDING	ALUM.	
D02	DSD2124-3	2410	2400	-	2400	SLIDING	ALUM.	
D03	SPECIAL	2100	2400	-	2500	HINGED/FIX	TIMBER	SELECTED SPECIAL ENTRY
D04		850	2100	-	200	HINGED	TIMBER/GLASS	LAUNDRY

WINDOWS AND DOORS SCHEDULE - FIRST FLOOR LEVEL								
Number	CODE	SIZE		Sill Height	Nominal Head Height	TYPE	MATERIAL	NOTES
		Width	Height					
101	DA1809	850	1800	500	2300	AWNING	ALUM.	
102	DS0627	2650	600	1700	2300	SLIDING	ALUM.	
103	DS1015	1450	1030	1270	2300	SLIDING	ALUM.	OBSC.
104	DS1015	1450	1030	1270	2300	SLIDING	ALUM.	OBSC.
105	DS1818	1810	1800	500	2300	SLIDING	ALUM.	
106	DS0618	1810	600	1700	2300	SLIDING	ALUM.	
107	DS0618	1810	600	1700	2300	SLIDING	ALUM.	
108	DS1818	1810	1800	500	2300	SLIDING	ALUM.	
109	DS1818	1810	1800	500	2300	SLIDING	ALUM.	
110	SPECIAL	1450	2400	-	1900	FXED	ALUM.	WITH SELECTED DECORATIVE MOULDING
111	DS1818	1810	1800	500	2300	SLIDING	ALUM.	
112	DA1809	850	1800	500	2300	AWNING	ALUM.	
113	SPECIAL	1700	2100	200	2300	FIXED	ALUM.	WITH SELECTED DECORATIVE MOULDING
D101	DSD2118	1810	2150	-	2150	SLIDING	ALUM.	